

ORDINANCE NO. 3993

AN ORDINANCE OF THE CITY OF EDMONDS, WASHINGTON, ADOPTING AMENDMENTS TO THE EDMONDS COMMUNITY DEVELOPMENT CODE, ADOPTING NEW CHAPTERS 16.110 WMU – WESTGATE MIXED USE ZONE DISTRICT, AND 22.110 DESIGN STANDARDS FOR THE WMU – WESTGATE MIXED USE ZONE DISTRICT, REZONING CERTAIN PROPERTY TO WMU, AND FIXING A TIME WHEN THE SAME SHALL BECOME EFFECTIVE.

WHEREAS, the Planning Board held a public hearing on the Westgate zoning text and map amendments March 12, 2014, a work/review session on May 14, 2014, and another public hearing on May 28, 2014; and

WHEREAS, on June 11, 2014, the Planning Board voted 5-0 to recommend adoption of the proposed Westgate zoning text amendments, with certain amendments, to the City Council; and

WHEREAS, on June 11, 2014, the Planning Board also voted 5-0 to recommend adoption of the Westgate zoning map amendment; and

WHEREAS, this proposal constitutes an area-wide rezone due to the size of the affected area and the number of different parcels and ownerships involved; and

WHEREAS, on August 4, 2014 and October 7, 2014, the City Council held public hearings on the proposed Westgate zoning amendments; and

WHEREAS, pursuant to ECDC 20.40.010, at least the following factors shall be considered in reviewing a proposed rezone:

A. Comprehensive Plan. Whether the proposal is consistent with the comprehensive plan;

B. Zoning Ordinance. Whether the proposal is consistent with the purposes of the zoning ordinance, and whether the proposal is consistent with the purposes of the proposed zone district;

C. Surrounding Area. The relationship of the proposed zoning change to the existing land uses and zoning of surrounding or nearby property;

D. Changes. Whether there has been sufficient change in the character of the immediate or surrounding area or in city policy to justify the rezone;

E. Suitability. Whether the property is economically and physically suitable for the uses allowed under the existing zoning, and under the proposed zoning. One factor could be the length of time the property has remained undeveloped compared to the surrounding area, and parcels elsewhere with the same zoning;

F. Value. The relative gain to the public health, safety and welfare compared to the potential increase or decrease in value to the property owners; and

WHEREAS, the city council finds, after considering the above factors, that the proposal should be approved; NOW, THEREFORE,

THE CITY COUNCIL OF THE CITY OF EDMONDS, WASHINGTON, DO
ORDAIN AS FOLLOWS:

Section 1. A new chapter 16.110, entitled “WMU – WESTGATE MIXED USE ZONE DISTRICT,” is hereby added to the Edmonds Community Development Code to read as set forth in **Exhibit 1**, which is attached hereto and incorporated herein by this reference as if set forth in full.

Section 2. A new chapter 22.110, entitled “DESIGN STANDARDS FOR THE WMU – WESTGATE MIXED USE DISTRICT,” is hereby added to the Edmonds Community

Development Code to read as set forth in **Exhibit 2**, which is attached hereto and incorporated herein by this reference as if set forth in full.

Section 3. That certain real property depicted on **Exhibit 3**, which is attached hereto and incorporated herein by this reference as if set forth in full, is hereby rezoned to Westgate Mixed Use (WMU).

Section 4. The Development Services Director or her designee is hereby authorized and directed to make appropriate amendments to the Edmonds Zoning Map in order to properly designate the rezoned property as “WMU” pursuant to Section 3 of this ordinance.

Section 5. Effective Date. This ordinance, being an exercise of a power specifically delegated to the City legislative body, is not subject to referendum, and shall take effect five (5) days after passage and publication of an approved summary thereof consisting of the chapter.

APPROVED:


MAYOR DAVID O. EARLING

ATTEST/AUTHENTICATED:


CITY CLERK, SCOTT PASSEY

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY:

BY 
JEFFREY B. TARADAY

FILED WITH THE CITY CLERK:	April 3, 2015
PASSED BY THE CITY COUNCIL:	April 7, 2015
PUBLISHED:	April 22, 2015
EFFECTIVE DATE:	April 27, 2015
ORDINANCE NO.	3993

SUMMARY OF ORDINANCE NO. 3993

of the City of Edmonds, Washington

On the 7th day of April, 2015, the City Council of the City of Edmonds, passed Ordinance No. 3993. A summary of the content of said ordinance, consisting of the title, provides as follows:

AN ORDINANCE OF THE CITY OF EDMONDS, WASHINGTON, ADOPTING AMENDMENTS TO THE EDMONDS COMMUNITY DEVELOPMENT CODE, ADOPTING NEW CHAPTERS 16.110 WMU – WESTGATE MIXED USE ZONE DISTRICT, AND 22.110 DESIGN STANDARDS FOR THE WMU – WESTGATE MIXED USE ZONE DISTRICT, REZONING CERTAIN PROPERTY TO WMU, AND FIXING A TIME WHEN THE SAME SHALL BECOME EFFECTIVE.

The full text of this Ordinance will be mailed upon request.

DATED this 8th day of April, 2015.


CITY CLERK, SCOTT PASSEY

Everett Daily Herald

Affidavit of Publication

State of Washington }
County of Snohomish } ss

Deb Grigg being first duly sworn, upon oath deposes and says: that he/she is the legal representative of the Everett Daily Herald a daily newspaper. The said newspaper is a legal newspaper by order of the superior court in the county in which it is published and is now and has been for more than six months prior to the date of the first publication of the Notice hereinafter referred to, published in the English language continually as a daily newspaper in Snohomish County, Washington and is and always has been printed in whole or part in the Everett Daily Herald and is of general circulation in said County, and is a legal newspaper, in accordance with the Chapter 99 of the Laws of 1921, as amended by Chapter 213, Laws of 1941, and approved as a legal newspaper by order of the Superior Court of Snohomish County, State of Washington, by order dated June 16, 1941, and that the annexed is a true copy of EDH627868 ORDINANCE NO 3993 as it was published in the regular and entire issue of said paper and not as a supplement form thereof for a period of 1 issue(s), such publication commencing on 04/22/2015 and ending on 04/22/2015 and that said newspaper was regularly distributed to its subscribers during all of said period.

The amount of the fee for such publication is \$30.96.

Deb Grigg

Subscribed and sworn before me on this

22nd day of April
2015



Notary Public in and for the State of Washington.

City of Edmonds - LEGAL ADS | 14101416
SCOTT PASSEY

SUMMARY OF ORDINANCE NO. 3993
of the City of Edmonds, Washington

On the 7th day of April, 2015, the City Council of the City of Edmonds passed the following Ordinance. A summary of the content of said ordinance, consisting of title, is provided as follows:

AN ORDINANCE OF THE CITY OF EDMONDS, WASHINGTON, ADOPTING AMENDMENTS TO THE EDMONDS COMMUNITY DEVELOPMENT CODE, ADOPTING NEW CHAPTERS 16.110 WMU - WESTGATE MIXED USE ZONE DISTRICT, AND 22.110 DESIGN STANDARDS FOR THE WMU - WESTGATE MIXED USE ZONE DISTRICT, REZONING CERTAIN PROPERTY TO WMU, AND FIXING A TIME WHEN THE SAME SHALL BECOME EFFECTIVE.

The full text of these Ordinances will be mailed upon request.
DATED this 17th day of April, 2015.

CITY CLERK, SCOTT PASSEY

Published: April 22, 2015.

EDH627868

Exhibit 1

Code Changes to Implement Westgate Study (all new)

Chapter 16.110

WMU – Westgate Mixed Use Zone District

Sections:

- 16.110.000 Purposes.
- 16.110.010 Uses.
- 16.110.020 Site development standards.
- 16.110.030 Operating restrictions.

16.110.000 Purposes.

The Westgate Mixed Use (WMU) zone has the following specific purposes in addition to the general purposes for business and commercial zones listed in chapter 16.40 ECDC:

- A. Encourage mixed-use development, including offices and retail spaces in conjunction with residential uses, in a walkable community center with a variety of amenity and open spaces. The intent is to establish a connection between neighborhoods; create a desirable center for local residents, while being inviting to visitors; and unify the larger Westgate District with a distinctive character.
- B. Create mixed-use walkable, compact development that is economically viable, attractive and community-friendly.
- C. Improve connectedness for pedestrian and bicycle users.
- D. Prioritize amenity spaces for informal and organized gatherings.
- E. Emphasize green building construction, stormwater infiltration, and a variety of green features.
- F. Establish a flexible regulating system that creates quality public spaces by regulating building placement and form.
- G. Ensure civic and private investments contribute to increased infrastructure capacity and benefit the surrounding neighborhoods and the community at large.
- H. Encourage the development of a variety of housing choices available to residents of all economic and age segments.

16.110.010 Uses.

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A. Table 16.110-1.

Permitted Uses	WMU
Commercial Uses	
Retail stores or sales	A
Offices	A
Service uses	A
Retail sales requiring intensive outdoor display or storage areas, such as trailer sales, used car lots (except as part of a new car sales and service dealer), and heavy equipment storage, sales or services	X
Enclosed fabrication or assembly areas associated with and on the same property as an art studio, art gallery, restaurant or food service establishment that also provides an on-site retail outlet open to the public	A
Automobile sales and service	C
Dry cleaning and laundry plants which use only nonflammable and nonexplosive cleaning agents	A
Printing, publishing and binding establishments	A
Public markets licensed pursuant to provisions in chapter 4.90 ECC	A
Residential Uses	
Single-family dwelling	C
Multiple dwelling unit(s)	A
Other Uses	
Bus stop shelters	A
Churches, subject to the requirements of ECDC 17.100.020	C
Primary and high schools, subject to the requirements of ECDC 17.100.050(G) through (R)	C
Local public facilities, subject to the requirements of ECDC 17.100.050	C
Neighborhood parks, natural open spaces, and community parks with an adopted master plan subject to the requirements of ECDC 17.100.070	A
Off-street parking and loading areas to serve a permitted use	B

Permitted Uses	WMU
Commuter parking lots in conjunction with a facility otherwise permitted in this zone	B
Commercial parking lots	C
Wholesale uses	X
Hotels and motels	A
Amusement establishments	C
Auction businesses, excluding vehicle or livestock auctions	X
Drive-in businesses	C
Laboratories	C
Fabrication of light industrial products not otherwise listed as a permitted use	X
Day-care centers	A
Hospitals, health clinics, convalescent homes, rest homes, sanitariums	C
Museums and art galleries of primarily local concern that do not meet the criteria for regional public facilities as defined in ECDC 21.85.033	A
Zoos and aquariums of primarily local concern that do not meet the criteria for regional public facilities as defined in ECDC 21.85.033	C
Counseling centers and residential treatment facilities for current alcoholics and drug abusers	C
Regional parks and community parks without a master plan subject to the requirements of ECDC 17.100.070	C
Outdoor storage, incidental to a permitted use	D
Aircraft landings as regulated by chapter 4.80 ECC	X

- 2 A = Permitted primary use
 B = Permitted secondary use
 4 C = Primary uses requiring a conditional use permit
 D = Secondary uses requiring a conditional use permit
 6 X = Not permitted

8 For conditional uses listed in Table 16.110-1, the use may be permitted if the proposal meets the criteria for conditional uses found in chapter 20.05 ECDC, and all of the following criteria are met:

- 10 1. Access and Parking. Pedestrian access shall be provided from the sidewalk and/or adjoining commercial areas.

- 2 2. The use shall be landscaped and designed to be compatible with the pedestrian streetscape, as described in chapter 22.110 ECDC.

16.110.020 Site development standards.

4 A. Building and site development standards are further specified in chapter 22.110 ECDC.

6 B. Building setback along external streets. A building setback is required as follows:

- 6 1. 16 feet from 100th Avenue W;
8 2. 16 feet from SR-104;

8 C. Setbacks and Screening from P- or R-zoned property. All buildings shall be set back a minimum of 15 feet from adjacent P- or R-zoned properties. The required setback from P- or R-zoned property shall be permanently landscaped with trees and ground cover and permanently maintained by the owner of the WMU lot. A six-foot minimum height fence, wall or solid hedge running the length of the setback shall be provided within the setback area.

14 D. Parking. Parking space requirements stated here prevail over parking space standards contained in ECDC 17. 50. The specific parking requirements for the Westgate Mixed Use zone are:

- 16 1. 1 space for every 400 square feet of leasable commercial space.
18 2. 1.2 spaces for every dwelling unit not exceeding 900 sq. ft. in livable area.
20 1.75 spaces for every dwelling unit over 900 sq. ft. in livable area.

20 Parking meeting the commercial parking requirements shall be open to the public throughout business operating hours. Shared parking may be provided per ECDC 20.030.

22 E. Satellite television antennas shall be regulated as set forth in ECDC 16.20.050.

16.110.025 Sidewalk development standards.

24 A. When a new building or building addition of at least 500 square feet is being developed on any property adjacent to 100th Street SW or SR 104, sidewalks and adjacent planting buffers along the property's entire street frontage are required to be in conformance with this section. Required improvements shall be at the expense of the property owner or his/her agent.

28 1. The total planting buffer and sidewalk width, as measured from back of street curb, shall be a minimum of thirteen (13) feet. This shall be comprised of a planting buffer five (5) feet wide immediately behind the street curb and a sidewalk at least eight (8) feet wide adjacent to the planting buffer, except as otherwise provided in subsections A.2 or A.3 of this section. The sidewalk may be fully within the public right of way or partly on private property. For sidewalks located on private property, an easement or dedication of right-of-way shall be given to the City.

30 2. Within the general area of the intersection of 100th Street SW and SR 104, the sidewalk and any planting buffer shall be a minimum of thirteen (13) feet wide, measured from back of curb. The sidewalk may also be required by the city engineer to be greater than thirteen (13) feet to accommodate any needed additional width for bulb-outs or other features improving safety or accessibility for pedestrians at the intersection. Where the required sidewalk width within the general intersection area is greater than eight (8) feet, the city engineer may allow the planting buffer to be reduced or excluded.

36 3. The width of any required planting buffer shall be continued along the property's entire street frontage, except that no planting is required across an approved driveway access

2 or where the city engineer determines that planting would reduce sidewalk continuity or
3 otherwise conflict with pedestrian mobility, including at but not limited to areas adjacent to
4 bus stop pull-out lanes. The planting buffer shall be the location for vegetation and street
5 trees. It may also be the location of street lights, utility equipment, signage, low impact
6 stormwater facilities, and other structures or uses typical along streets, as approved by the
7 city.

16.110.030 Operating restrictions.

8 A. Enclosed Building. All uses shall be carried on entirely within a completely enclosed
9 building, except:

10 1. Public utilities and parks and uses associated with amenity and open spaces such as
11 outdoor dining or recreation uses;

12 2. Off-street parking and loading areas, and commercial parking lots;

13 3. Drive-in businesses;

14 4. Plant nurseries;

15 5. Public markets; provided, that when located next to a single-family residential zone,
16 the market shall be entirely within a completely enclosed building;

17 6. Limited outdoor display of merchandise meeting the criteria of chapter 17.65 ECDC;

18 7. Motorized and nonmotorized mobile vending units meeting the criteria of chapter
19 4.12 ECC.

20

21 B. Property Performance Standards. All uses shall comply with chapter 17.60 ECDC,
22 Property Performance Standards.

Exhibit 2

Chapter 22.110

2

Design Standards for the WMU – Westgate Mixed Use District

4

Sections:

22.110.000 Purpose and Intent.

6

22.110.010 Building Types.

22.110.020 Frontage Types.

8

22.110.030 Green Building Construction and Housing

22.110.050 Circulation.

10

22.110.070 Amenity Space and Green Feature Types.

22.110.080 Public Space Standards.

12

22.110.090 Height Bonus

22.110.000 Purpose and Intent.

14

The core concept for the Westgate Mixed Use District is to create a vibrant mixed-use activity center that enhances the economic development of the city and provides housing as well as retail and office uses to meet the needs of all age groups. This Chapter seeks to retain key features of the area, including protecting the large trees and green surrounding hillsides, while increasing walkability and gathering spaces, such as plazas and open spaces. Important aspects of this Chapter include:

20

- Protecting steep slopes is a key concept;

- Designing a landscape emphasis for the primary intersection;

22

- Creating a lively pedestrian environment with wide sidewalks and requirements for buildings to be placed close to the sidewalk;

24

- Landscaping the plazas, open spaces, and parking areas with required landscaped open space;

26

- Promoting a sustainable low-impact development with a requirement for bioswales, rain gardens, green roofs and other features to retain and infiltrate storm water;

28

- Providing workforce housing and increasing residential uses including small-sized dwelling units;

30

- Providing options for non-motorized transportation linking new bike lanes into the city's larger system of bike lanes and extending sidewalks and pedestrian paths into the surrounding residential areas.

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22.110.010 Building Types.

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A. Properties in the Westgate District have varying height limits depending on location and topography as identified in ECDC 22.110.010.B and ECDC 22.110.090. Seven Building Types are allowed in the Westgate District, as listed below:

38

1. Rowhouse – A series of two or more attached townhome apartments or condominiums with entrances facing the street or public way.

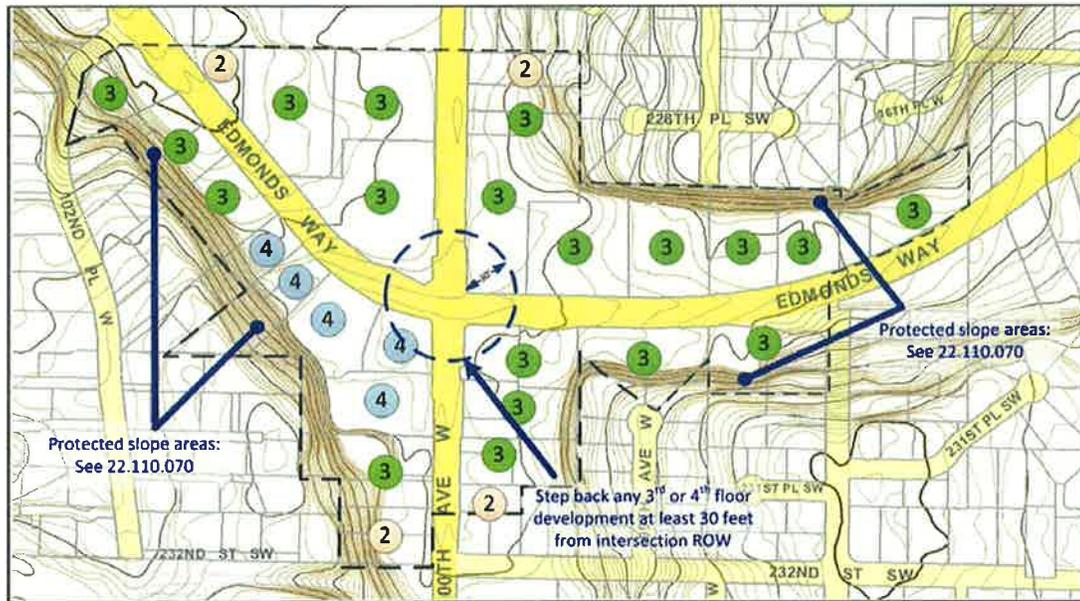
- 2 2. Courtyard - A cluster of apartment or condominium flats arranged to share one or more
common courtyards.
- 4 3. Stacked Dwelling – A primarily residential building with the building massing
predicated on horizontal repetition and vertical stacking of residential units and which
6 may include ancillary commercial uses (such as exercise or health facilities or
convenience shopping or services) on the ground level.
- 8 4. Live-Work - An integrated residential and working space designed to accommodate
joint residential and work activity uses.
- 10 5. Loft Mixed-Use - A building that has vertical stacking of units organized on lobby,
corridor, and elevator access, with greater height per floor on one or more floors to
12 accommodate additional loft area within a unit.
- 14 6. Side Court Mixed-Use – A building with retail or service uses located on the ground
floor and office or residential uses above and including a side courtyard adjacent to the
public realm.
- 16 7. Commercial Mixed-Use – A mixed-use building with retail and/or service uses on at
least the ground floor, with additional commercial or residential uses above.

18 B. Building Height. Building heights are described in terms of stories. Regardless of the
number of stories specified, overall building heights in the Westgate Mixed Use zone cannot
20 exceed 25 feet for a two-story building, 35 feet for a three-story building, or 45 feet for
buildings with four stories. Buildings may only include a fourth story if the building meets the
22 criteria contained in section ECDC 22.110.090. Notwithstanding other methods of calculating
height elsewhere in the city, building height in the Westgate Mixed Use zone is established by
24 the finished grade at the street front, so that buildings may not use adjoining slopes to increase
the average height of the building above the street front level. Figure 22.110.010.B illustrates
26 building height limits and step back requirements for buildings in the Westgate Mixed Use
zone.

28 The only exception to these height limits is when a building contains an undivided retail
space that is at least 15,000 square feet in size. When such a space is included on the ground
30 floor of a building (such as for a grocery or drug store), then the overall building height may
be increased by 1 foot for each foot that the first floor height exceeds 10 feet, up to a total of
32 no more than 5 feet, to accommodate the additional ceiling height needed to accommodate the
large retail use. A building that has taken advantage of this additional height may not have its
34 retail space subdivided below the 15,000 square foot minimum at any time during the
building's lifetime.

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Figure 22.110.010.B Building Height Limits and Step-back Requirements



- ④ Parcels eligible for potential 4th story height bonus.
- ③ Parcels limited to three (3) stories in height.
- ② Parcels limited to two (2) stories in height.

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4 C. Building Locations. Setbacks established in section ECDC 16.110.020 describe the
 6 minimum distances buildings must be placed from the SR-104 and 100th Avenue W rights-of-
 8 way. In general, buildings shall be located at or within 10 feet of the setback line so that the
 10 buildings can relate to each other, not stand in isolation, and help to define the adjoining open
 12 space and amenity spaces that will surround them. Exceptions may be granted as part of the
 design review process when it can be demonstrated that the proposed development will
 achieve these connectivity and space-shaping goals more effectively by allowing such an
 exception in light of the established building and circulation pattern, provided that vehicle
 parking shall not be located so as to separate the building from the public street.

14 D. Building Type Descriptions. The following describe the different building types and
 include diagrams indicating where each building type is allowed. Note that where descriptions
 and standards refer to “street” this is intended to refer to either an external street or an internal
 street or drive which provides secondary vehicular and pedestrian access within the overall
 development(s).

18 Each building type is allowed only within specified locations within the Westgate Mixed
 Use zone, as shown in Figure 22.110.010.D. Allowed uses per floor are specified in Table
 20 22.110.010.D. Most properties have an option for more than one building type. Multiple
 22 buildings are allowed per site, so long as each building conforms with the building type
 locations specified in Figure 22.110.010.D.

Figure 22.110.010.D Building Type Locations



1. Rowhouse



5. Loft Mixed-Use



2. Courtyard



6. Side Court Mixed-Use



3. Stacked Dwelling



7. Commercial Mixed-Use



4. Live-Work

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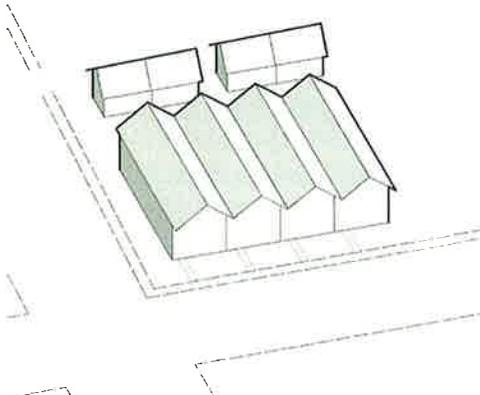
2 Table 22.110.010.D Table of general allowed uses by floor for each building type.

Building Type	Residential Uses	Office Uses	Retail
Rowhouse	Any floor	Not allowed	Not allowed
Courtyard	Any floor	Ground floor only	Ground floor only
Stacked Dwellings	Any floor	Ground floor only	Ground floor only
Live-Work	Not ground floor ¹	Ground floor only	Ground floor only
Loft Mixed Use	Not ground floor ¹	Any floor	Any floor
Side Court Mixed Use	Not ground floor ¹	Any floor	Ground floor only
Commercial Mixed Use	Not ground floor ¹	Not ground floor	Any floor

1 “Not ground floor” means the use may locate on any floor other than the ground floor of a building.

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1. Rowhouse



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Rowhouse type diagram and allowed locations.

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Description.

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A series of two or more attached dwellings with zero side yard setbacks located on a qualifying lot in the Westgate District as shown in Figure 22.110.010.D.

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Access.

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The primary entrance to each dwelling shall be accessed directly from and face the external street or sidewalk if feasible. Where dwellings are accessed from internal streets or circulation drives, then the primary entrance to each dwelling shall be accessed directly from and face the internal street or circulation drive. Parking and services shall be accessed from an internal street or alley or tuck-under parking. Parking entrances are allowed on an internal street if the garage entrance does not occupy more than one half the building frontage.

14

Amenity Space.

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Publicly accessible amenity space shall be provided as described in section 22.110.070 ECDC. Usable outdoor amenity space shall be provided in conjunction with and related to the dwelling units at no less than 15% of the lot area. The outdoor space shall be of a regular geometry so that the space is usable for recreational or leisure use.

20

2 **Open Space**

4 • The minimum open space area shall be 15% of the lot area. Additional amenity space
6 provided in excess of the 15% minimum amenity space requirement may also count as open
8 space.

10 • Open space may be public or private. Open space shall not include balconies or areas
12 covered by or located under buildings, such as arcades.

14 • A roof deck or green roof may only count as open space if is accessible, and may not
16 count toward more than 50% of the required open space.

18 • Protected slope areas may also count as open space.

20 **Landscape.**

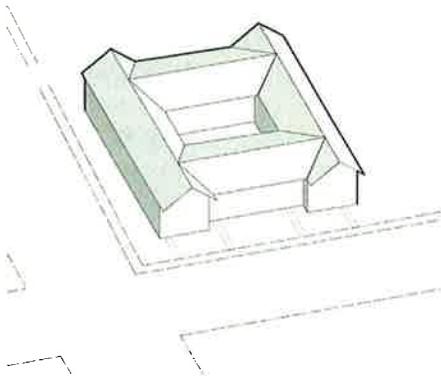
22 Landscape may be used to separate a front yard from the front yards of adjacent units or
24 buildings. Any front yard trees shall be of porch scale where adjacent to the porch (at
26 maturity, no more than 15 feet tall) except at the margins of the lot and as a part of the
28 frontage landscaping at the street sidewalk interface, where they may be of house scale (no
30 more than 30 feet tall at the maturity of the tree). In general, medium-to-large trees shall be
dispersed through the development (either new or existing trees) and landscaping provided for
shade and privacy.

Building Design and Massing.

 Buildings on corner properties adjacent to streets shall be designed with a main façade and
a secondary façade to provide street frontage on all streets. In a 3 story building, a townhouse
dwelling may be stacked over a ground floor flat. In this case, the flat shall be accessed by its
own front doors at the street and the townhouse dwelling shall be accessed by a separate front
door and an internal stair. In a 2 story building, the rowhouse consists of a townhouse
dwelling that is accessed from the street and faces the street, or residential flats that each have
a street entry.

 Rowhouse buildings shall comply with the (1) Massing and Articulation, (3) Ground Level
Details, and (5) Treating Blank Walls design treatments specified in section ECDC
22.110.015.

2. Courtyard



Courtyard type diagram and allowed locations.



Description.

A cluster of dwelling units arranged in one or more buildings to share one or more common courtyards. The individual units may be any combination of rowhouses or flats or stacked flats. The courtyard is private space that is adjacent to the public realm and may provide access to tuck-under parking. Courtyard building types may house ground floor commercial/flex uses.

Access

- The main entry to each ground floor dwelling shall be directly off a common courtyard or directly from a street. Access to commercial uses shall be directly from a street.
- Access to second-story units may be through an open or open roofed stair.
- Parking shall be accessed through an alley or interior street if present.

Amenity Space.

Publicly accessible amenity space shall be provided as described in section ECDC 22.110.070. Sites shall be designed to provide usable amenity space with a total area of not less than 15% of the lot. A central courtyard and / or multiple separated or interconnected courtyards, plazas and courtyards may be included in the cumulative total area only if they are

accessible to the public. In a project with multiple courtyards at least two of the courtyards shall conform to the patterns below:

- Optimal court dimensions are a minimum of 40 feet when the long axis of the court is oriented East/West and a minimum of 30 feet when the court is oriented North/South.

- In 40-foot wide courts, the frontages allowed within the applicable zone are permitted on two sides of the court; they are permitted on one side of a 30-foot wide court.

Open Space

- The minimum open space area shall be 15% of the lot area. Additional amenity space provided in excess of the 15% minimum amenity space requirement may also count as open space.

- Open space may be public or private. Open space shall not include balconies or areas covered by or located under buildings, such as arcades.

- A roof deck or green roof may only count as open space if is accessible, and may not count toward more than 50% of the required open space.

- Protected slope areas may also count as open space.

- Courtyards shall be connected to the public way and/or to each other. Connecting spaces shall be at least 10 feet wide.

Landscape.

Landscape shall not be used to separate a front yard from the front yards on adjacent lots. Front yard trees shall be of porch scale where adjacent to the porch (at tree's maturity, no more than 15 feet tall) except at the margins of the lot and as a part of the frontage landscaping at the street sidewalk interface, where they may be of house scale (no more than 30 feet tall at the maturity of the tree).

In general, medium-to-large trees shall be dispersed through the development (either new or existing trees) and landscaping provided for shade and privacy.

Building Design and Massing.

- Entrance doors and living spaces (great room, dining, living, family) should be oriented toward the courtyard and exterior street. Service rooms may be oriented toward the side-yard, rear yard or alley.

- No exterior arcade shall encroach into the required minimum width of the courtyard.

- Stoops up to 3 feet in height may be placed above below grade parking.

Building size and massing.

- Buildings shall be composed of flats and rowhouses alone or in combination.

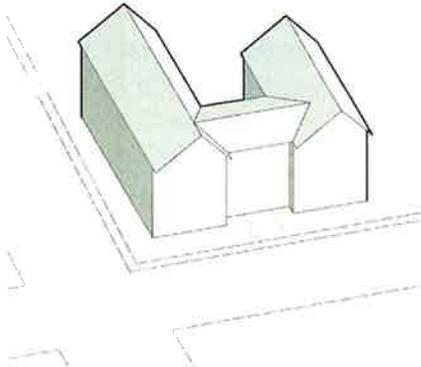
- Units may be repetitive or unique in design.

- Buildings shall be composed of one, two, or three story masses, each using design features such as combinations of materials, windows or decorative details to suggest smaller-scale 30-foot-wide individual residential masses.

- The building is not required to appear to be one building.

Courtyard buildings shall comply with the (1) Massing and Articulation, (2) Orientation to Street, (3) Ground Level Details, and (5) Treating Blank Walls design treatments specified in section ECDC 22.110.015.

3. Stacked dwellings



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Stacked dwellings type diagram and allowed locations.



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Description

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Stacked Dwellings are predicated on horizontal repetition and vertical stacking of units organized on lobby, corridor, and stairs or elevator access. These buildings may be used for ancillary non-residential commercial uses (such as exercise or health facilities or convenience shopping or services) on the ground level only.

10

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Access

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- The primary entrance to each dwelling shall be accessed through a lobby accessible from the street.

16

- Interior circulation to each unit shall be through a double or single loaded corridor.

18

Amenity space.

Publicly accessible amenity space shall be provided as described in section ECDC 22.110.070.

2 **Open Space**

4 • The minimum open space area shall be 15% of the lot area. Additional amenity space provided in excess of the 15% minimum amenity space requirement may also count as open space.

6 • Open space may be public or private. Open space shall not include balconies or areas covered by or located under buildings, such as arcades.

8 • A roof deck or green roof may only count as open space if is accessible, and may not count toward more than 50% of the required open space.

10 • The primary shared open space is the rear yard, which shall be designed as a courtyard. The rear yard may be designed for ground installation or as the lid of a below-grade parking garage. Side yards are allowed for common use gardens. • Protected slope areas may also count as open space.

12 **Landscape.**

14 Landscape may not be used to separate a front yard from the front yards on adjacent lots. Trees may be placed in front yards and in side yards to create a sense of place.

16 In general, medium-to-large trees shall be dispersed through the development (either new or existing trees) and landscaping provided for shade and privacy.

18 Courtyards located over below grade garages shall be designed to avoid the sense of planters and hardscape landscaping.

20 **Building Design and Massing.**

22 Buildings shall be composed of flats, lofts, and rowhouses alone or in combination.

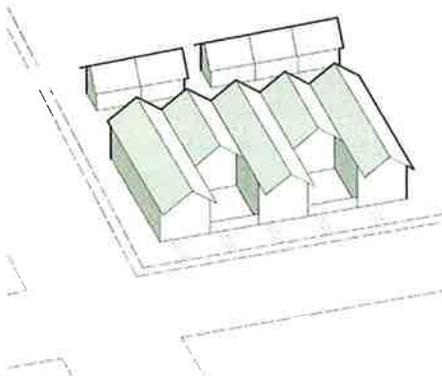
24 • Units may be repetitive or unique in design.

26 • Buildings shall be composed of individual masses that are intended to break up the building into identifiable housing units rather than large undifferentiated blocks. The building is not required to appear to be one building.

28 Stacked dwelling buildings shall comply with the (1) Massing and Articulation, (3) Ground Level Details, and (5) Treating Blank Walls design treatments specified in section ECDC 22.110.015.

30

4. Live-Work



Live-Work type diagram and allowed locations.



Description

An integrated housing unit and working space occupied and utilized by a single household in a structure, either single family units in clusters or a multi-family building, that has been designed to accommodate joint residential and work activity uses. Work uses shall be at the ground floor. A live-work structure may be located on a qualifying lot in the Westgate District, as shown in Figure 22.110.010.D.

Access

The primary entrance to each ground floor work/flex space shall be accessed directly from and face the external street or a sidewalk if feasible. Where dwellings are accessed from internal streets, then the primary entrance to each dwelling shall be accessed directly from and face the internal street.

2 The upstairs residential unit may be accessed by a separate entry and internal stair that is
3 accessed from and faces the street. Access may also be provided by a shared lobby that
4 provides separate access to the commercial/flex and dwelling uses.

5 Parking and services shall be accessed from an alley or tuck-under parking located under
6 the building. Parking entrances are allowed on an internal street or alley if the garage entrance
7 does not occupy more than one half the building frontage.

8 **Amenity Space**

9 Publicly accessible amenity space shall be provided as described in section ECDC
10 22.110.070.

11 Amenity space shall be provided behind the live-work at no less than 15% of the lot area
12 and of a regular geometry with a minimum dimension of 20 feet. Alternatively, 50% of the
13 amenity space may be provided at the front of the lot.

14 **Open Space**

15 • The minimum open space area shall be 15% of the lot area. Additional amenity space
16 provided in excess of the 15% minimum amenity space requirement may also count as open
17 space.

18 • Open space may be public or private. Open space shall not include balconies or areas
19 covered by or located under buildings, such as arcades.

20 • A roof deck or green roof may only count as open space if is accessible, and may not
21 count toward more than 50% of the required open space.

22 • Protected slope areas may also count as open space.

23 **Landscape**

24 Landscape shall not obscure the storefront of the ground floor flex/work space.

25 In general, medium-to-large trees shall be dispersed through the development (either new
26 or existing trees) and landscaping provided for shade and privacy.

27 **Frontage**

28 • Commercial/work/flex space and living areas shall be oriented toward the fronting street
29 or sidewalk. Service rooms should be oriented towards the side and rear yards.

30 • Commercial/work/flex spaces shall conform to Shopfront Frontage Type Standards (see
31 ECDC 22.110.020).

32 • Buildings on corner lots may provide an appropriate frontage type on each street front.

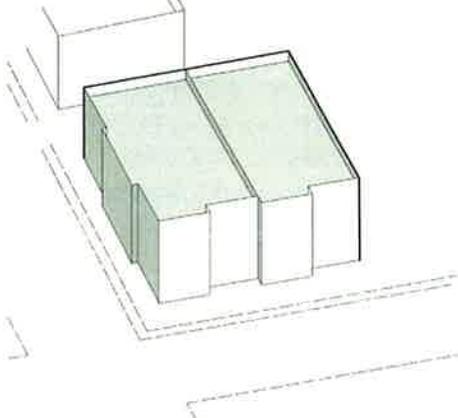
33 **Building Design and Massing**

34 Live-work units may be designed as individual buildings composed of 2- and/or 3-story
35 volumes or included in larger buildings in compliance with the applicable building type
36 requirements.

37 Live-Work buildings shall comply with the (1) Massing and Articulation, (3) Ground Level
38 Details, and (5) Treating Blank Walls design treatments specified in section ECDC
39 22.110.015.

40

5. Loft Mixed-Use



2

Loft Mixed-Use type diagram and allowed locations.

4



6

Description

8 Loft Mixed Use buildings are predicated on horizontal repetition and vertical stacking of
10 units organized on lobby, corridor, and stairs or elevator access. These buildings have greater
12 height on at least one floor to accommodate additional floor loft area within a unit. These
buildings may be used for residential, office, and commercial uses, except that residential
units may not be located on the ground floor.

Access

- 14 • The primary entrance to each unit may be accessed be through a street level or elevated
lobby accessible from the street.
- 16 • The entry to each ground floor unit may be through an elevator/stair corridor.
- Interior circulation to each unit shall be through a double or single loaded corridor.
- 18 • Access to upper level loft areas is via an internal stair.

Amenity space.

Publicly accessible amenity space shall be provided as described in section ECDC 22.110.070.

Open Space

- The minimum open space area shall be 15% of the lot area. Additional amenity space provided in excess of the 15% minimum amenity space requirement may also count as open space.

- Open space may be public or private. Open space shall not include balconies or areas covered by or located under buildings, such as arcades.

- A roof deck or green roof may only count as open space if is accessible, and may not count toward more than 50% of the required open space.

- Protected slope areas may also count as open space.

Landscape

Landscape may not be used to separate a front yard from front yards on adjacent lots. Trees may be placed in front yards and in side yards to create a sense of place.

Courtyards located over below grade garages shall be designed to provide a combination of integrated landscaping and seating/active circulation areas.

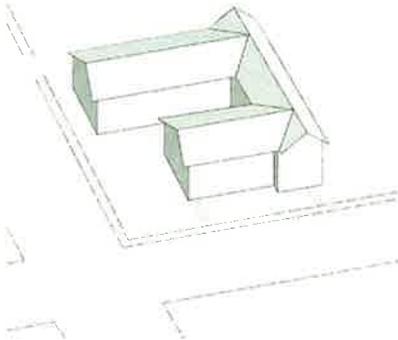
In general, medium-to-large trees shall be dispersed through the development (either new or existing trees) and landscaping provided for shade and privacy.

Building Design and Massing.

Lofts may be provided as part of commercial or residential units, but must be provided on at least one floor of the building. Units may be repetitive or unique in design.

Loft Mixed Use buildings shall comply with the (1) Massing and Articulation, (2) Orientation to Street, (3) Ground Level Details, (4) Pedestrian Façade, and (5) Treating Blank Walls design treatments specified in section ECDC 22.110.015.

6. Side Court Mixed-Use



Side Court Mixed-Use type diagram and allowed locations.



Description

A single or cluster of buildings containing a mix of uses, including commercial as well as dwelling units or office suites arranged to share one or more common courtyards. The individual units or suites are rowhouses, flats or stacked flats. The side courtyard is a semi-public space that is adjacent to the public realm. Side courtyard building types shall house ground floor commercial spaces with office or dwelling units above. Side court buildings may be located on a qualifying lot in the Westgate District, as shown in Figure 22.110.010.D.

Access

- The main entry to each ground floor dwelling shall be directly off the common courtyard or directly from an external street or sidewalk. Access to commercial and office uses may be directly from an external street, sidewalk, or side courtyard.

- Access to second-story units or suites shall be through an open, open roofed, or internal stair.

- Parking shall be accessed through an alley, internal circulation drive, or shared driveway access. Parking shall not be accessed directly from the exterior street via individual driveways

• Parking entrances to below grade garages and driveways should be located as close as possible to the side or rear of each lot.

• Entrance doors and living spaces (great room, dining, living, family) shall be oriented toward the courtyard and/or exterior street or sidewalk. Service rooms may be oriented toward the side-yard, rear yard or alley.

Amenity space.

Publicly accessible amenity space shall be provided as described in section ECDC 22.110.070. Courtyard buildings shall be designed to provide a side courtyard and or multiple separated or interconnected courtyards with a minimum dimension of 20 feet and comprising at least 15% of the lot area. No exterior arcade may encroach into the required minimum width of the side courtyard.

In a project with multiple courtyards at least two of the courtyards shall conform to the patterns below:

• Dwellings shall face a side yard or courtyard.

• Major ground floor rooms shall be open to the active side yard with large windows and doors.

• When located on a side yard, a driveway shall be integrated into the design of the yard through the use of a reduced paved area, permeable paving materials for a landscaped area and usable outdoor space.

• Rear yards are not required.

Open Space

• The minimum open space area shall be 15% of the lot area. Additional amenity space provided in excess of the 15% minimum amenity space requirement may also count as open space.

• Open space may be public or private. Open space shall not include balconies or areas covered by or located under buildings, such as arcades.

• A roof deck or green roof may only count as open space if is accessible, and may not count toward more than 50% of the required open space.

• Protected slope areas may also count as open space.

Landscape

Landscape shall not be used to separate a front yard from the front yards on adjacent lots. Front yard trees shall be of porch scale where adjacent to the porch (at tree's maturity, no more than 15 feet tall) except at the margins of the lot and as a part of the frontage landscaping at the street sidewalk interface, where they may be of house scale (no more than 30 feet tall at the maturity of the tree).

In general, medium-to-large trees shall be dispersed through the development (either new or existing trees) and landscaping provided for shade and privacy.

Building Design and Massing

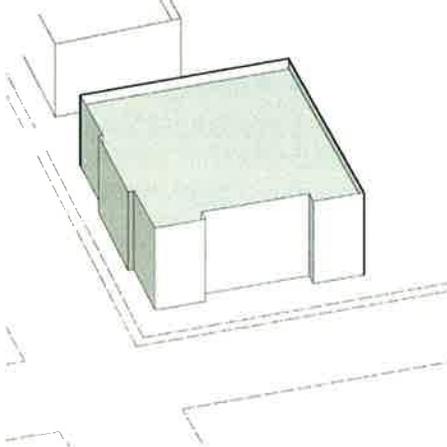
• The building elevation abutting an inactive side yard shall be designed to provide at least one horizontal break of at least three feet and one vertical break.

• Buildings on corner lots shall be designed with two facades using similar scale and design features without the use of blank walls.

• Units within the buildings may be flats and/or townhouses.

Side Court Mixed Use buildings shall comply with the (1) Massing and Articulation, (2) Orientation to Street, (3) Ground Level Details, (4) Pedestrian Façade, and (5) Treating Blank Walls design treatments specified in section ECDC 22.110.015.

7. Commercial Mixed-Use



2

Commercial Mixed-Use type diagram and allowed locations.

4



6

Description

8 Commercial Mixed Use buildings are designed for retail and service uses on the ground
10 floor, with upper floors configured for dwelling units or commercial uses. The buildings are
12 predicated on vertical stacking of units organized on lobby, corridor, and stairs or elevator
access. These buildings are located on a qualifying lot in the Westgate District, as shown in
Figure 22.110.010.D.

Access

- 14 • The primary entrance to each building shall be accessed through a street level lobby or
elevated lobby accessible from the street or sidewalk.
- 16 • Interior circulation to each unit shall be through a double or single loaded corridor.
- 18 • The entry to each ground floor commercial space shall be directly from and face the street
or sidewalk.

Amenity space.

2 Publicly accessible amenity space shall be provided as described in section ECDC
22.110.070. Shared amenity space may include the lid of a below grade parking garage or
4 garage deck as long as the amenity space is within six feet of finished grade. In a project with
multiple amenity space areas at least two of the courts shall conform to the patterns below:

6 • Optimal amenity space area dimensions are a minimum 40 feet wide when the long axis
of the court is oriented East/West and a minimum of 30 feet wide when the court is oriented
8 North/South. No arcade may encroach into the required minimum width of a courtyard.

10 • In 40-foot wide courts, the frontages and architectural projections allowed within the
applicable zone are permitted on two sides of the court; they are permitted on one side of a
30-foot wide court.

12 **Open Space**

14 • The minimum open space area shall be 15% of the lot area. Additional amenity space
provided in excess of the 15% minimum amenity space requirement may also count as open
space.

16 • Open space may be public or private. Open space shall not include balconies or areas
covered by or located under buildings, such as arcades. A roof deck or green roof may only be
18 counted as open space if it is accessible.

20 • Protected slope areas may also count as open space.

20 • Side yards or courts are allowed for common use gardens. **Landscape**

22 Private landscaping is required. Trees may be placed in front yards and in side yards to
create a sense of place.

24 Open space areas located over below-grade garages shall be designed to avoid the sense of
planters and hardscape landscaping. In general, medium-to-large trees shall be dispersed
through the development (either new or existing trees) and landscaping provided for shade
and privacy.

26 **Building Design and Massing**

28 Buildings shall be composed of office, retail, flats, or lofts alone or above commercial
space on the ground level. Units may be repetitive or unique in design.

30 • The main volume may be flanked by one or more secondary volumes.

32 • Large floor plate retail such as grocery stores, drug stores, nurseries, and exercise gyms
are encouraged and are allowed on the first or second floors of a mixed-use building.

34 Commercial Mixed Use buildings shall comply with the (1) Massing and Articulation, (2)
Orientation to Street, (3) Ground Level Details, (4) Pedestrian Façade, and (5) Treating Blank
Walls design treatments specified in section ECDC 22.110.015.

36

22.110.015 Design Treatments

2 A. Purpose

4 This Section describes building design features that are referenced as being required in the building types described in section ECDC 22.110.010.

6 1. Massing and Articulation

8 Intent: To reduce the massiveness and bulk of large box-like buildings, and articulate the building form to a pedestrian scale.

10 Buildings shall convey a visually distinct base and top. A “base” can be emphasized by a different masonry pattern, more architectural detail, visible plinth above which the wall rises, storefront, canopies, or a combination. The top edge is highlighted by a prominent cornice, projecting parapet or other architectural element that creates a shadow line.

12 Where a single building façade exceeds 60 feet in length, use a change in design features (such as a combination of materials, windows or decorative details) to articulate the building so that it appears to consist of multiple smaller-scale building segments.

22

24 2. Orientation to Street

26 Intent: To reinforce pedestrian activity and orientation and enhance the liveliness of the street through building design.

28 Building frontages shall be primarily oriented to the adjacent street, rather than to a parking lot or alley. Ground floor commercial space shall be accessible and within an elevation of 7” from the adjoining sidewalk. Entrances to buildings shall be visible from the street and shall be given a visually distinct architectural expression by one or more of the following elements:

- 30 a. Higher bay(s);
- 32 b. Recessed entry (recessed at least three feet);
- 34 c. Forecourt and entrance plaza.

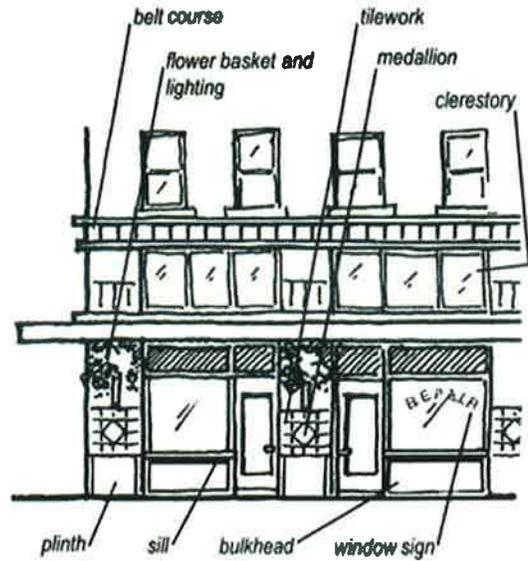
38



3. Ground Level Details

Intent: To reinforce the character of the streetscape by encouraging the greatest amount of visual interest along the ground level of buildings facing pedestrian streets. Ground-floor, street-facing facades of commercial and mixed-use buildings shall incorporate at least five of the following elements:

- a. Lighting or hanging baskets supported by ornamental brackets;
- b. Medallions;
- c. Belt courses;
- d. Plinths for columns;
- e. Bulkhead for storefront window;
- f. Projecting sills;
- g. Tile work;
- h. Transom or clerestory windows;
- i. Planter box;
- j. An element not listed here but that is of a similar character and meets the intent.



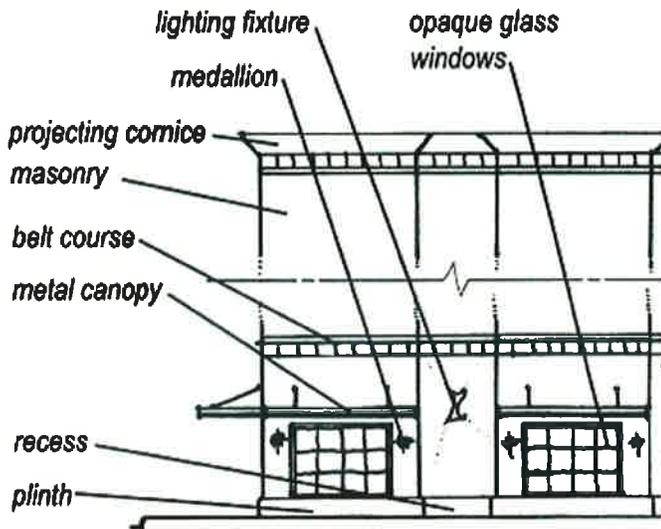
4. Pedestrian Façade

Intent: To provide visual connection between activities inside and outside the building. The ground level facades of buildings that face a street front shall have transparent windows covering a minimum of 40 percent of the ground floor façade that lies between an average of two feet and 10 feet above grade. To qualify as transparent, windows shall not be mirrored or consist of darkly tinted glass, or prohibit visibility between the street and interior.

5. Treating Blank Walls

Intent. To ensure that buildings do not display blank, unattractive walls. Walls or portions of walls on abutting streets or visible from residential areas where windows are not provided shall have architectural treatment. At least five of the following elements shall be incorporated into any ground floor, street-facing facade:

- a. Masonry (except for flat, nondecorative concrete block);
- b. Concrete or masonry plinth at the base of the wall;
- c. Belt courses of a different texture and color;
- d. Projecting cornice;
- e. Decorative tile work;
- f. Medallions;
- g. Opaque or translucent glass;
- h. Artwork or wall graphics;
- i. Lighting fixtures;
- j. Green walls;
- k. An architectural element not listed above, as approved, that meets the intent.



Blank walls shall be treated with architectural elements to provide visual interest.

2 **22.110.020 Frontage Types.**

A. Purpose

4 This Section defines how the buildings within the Westgate Mixed Use zone relate to the
 6 public realm of the sidewalk and other common use areas. The purpose of defining Frontage
 8 Types is to encourage the development of a variety of frontage types and to encourage each
 10 building to relate to the public realm in ways that are attractive, inviting, and accessible to all.

B. Principles and Standards

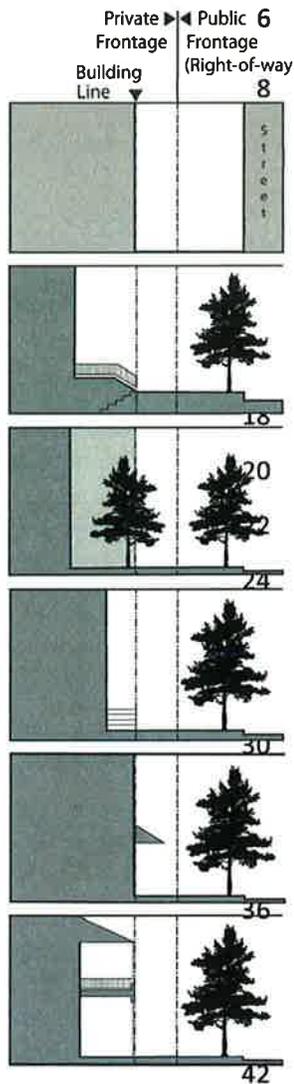
12 The frontage types for each proposed development shall be designed in concert with the
 14 Building Types and standards presented in sections 22.110.010.

16 Primary frontage. “Primary frontage” is frontage that faces main public spaces or
 18 circulation areas of higher pedestrian importance. Entrances are required. Examples are street
 fronts or interior access drives that link developments.

20 Secondary frontage. “Secondary frontage” is frontage that faces areas of lesser pedestrian
 22 importance. Entrances to buildings are not required. Examples include SR-104 when an
 24 alternative interior drive or pedestrian walkway is able to provide linkage to other
 26 developments and pedestrian connections within the overall developed area or Westgate
 quadrant.

This section identifies five Frontage Types for primary and secondary frontages, as shown
 in the figure on the next page. Each of the five frontage types are described and depicted in a
 section view. For each Frontage Type, the description concludes by identifying those Building
 Types for which that Frontage Type is permitted. For secondary frontages (permitted along
 portions of SR 104, for example), no building entrance is required and the frontage types do
 not apply. Frontages for retail uses are required to provide windows facing the public street,
 circulation drive, or sidewalk, glazed with clear glass and occupying no less than 60% of the
 ground-level frontage.

- In general, entries to ground floor commercial space shall be directly from and face the related primary frontage. Additional entries may be provided, for example from parking or secondary frontages.
- Blank walls are not permitted.



a. Terrace or Elevated Entry: The main façade is set back from the frontage line by an elevated terrace or entry. This type buffers residential use from sidewalks. The elevated terrace is also suitable for outdoor cafes. Terrace or Elevated Entry frontage is allowed on all building types.

b. Forecourt: The main façade is at the building line with with a portion set back for a small court space. The court could be used to provide shopping or restaurant seating in commercial buildings, or as an entry court for residential uses. This type should be used sparingly. Forecourt frontage may be used on Courtyard, Stacked Dwellings, and Live-Work building types.

c. Stoop: The main façade is near the frontage line with the first story elevated to provide privacy. The stoop is appropriate for ground floor residential uses. Stoop frontage may be used on Rowhouse, Courtyard, Live-Work and Stacked Dwellings building types.

d. Shopfront: The main façade is aligned close to the frontage line with the building entrance at sidewalk grade. The covering shall extend far enough to provide pedestrians protection from the weather. This type is appropriate for retail or office uses. Shopfront frontage may be used on Stacked Dwellings, Live-Work, Loft Mixed-Use, Side Court Mixed-Use, or Commercial Mixed-Use building types.

e. Gallery (or arcade): The main façade is set back from the frontage line with an attached cantilevered colonnade overlapping the sidewalk. The entry should be at sidewalk grade. The gallery/arcade should be no less than 8' wide. This type is appropriate for retail or office uses. Gallery/arcade frontage may be used on Stacked Dwellings, Live-Work, Loft Mixed-Use, Side Court Mixed-Use, or Commercial Mixed-Use building types.

22.110.030 Green Building Construction and Housing.

A. Purpose

The purpose of this Section is to encourage the development of a variety of housing choices available to residents of all economic segments and to encourage sustainable development through the use of development standards, requirements and incentives.

B. Green Building and Site Design Criteria

2 All development in the Westgate District shall meet Built Green 1-to-3 star or LEED
4 Certified rating or equivalent as a requirement and shall meet a minimum Green Factor Score
of 0.3.

C. Sustainable site design.

6 All development shall meet Built Green 1-to-3 star or LEED Certified standards, or an
8 equivalent. Green Factor Score requirements shall be used in the design of sustainable site
features and low-impact stormwater treatment systems. A Green Factor Score of 0.3 is
required of all developments (see ECDC 22.110.070).

10 Pervious surfaces shall be integrated into site design and may include: pervious pavement,
12 pervious pavers and vegetated roofs. Capture and reuse strategies including the use of
rainwater harvesting cisterns may be substituted for the effective area of pervious surface
required.

14 Runoff generated on-site shall be routed through a treatment system such as a structured
16 stormwater planter, bioswale, rain garden, pervious pavement, or cisterns. Runoff leaving the
site shall conform to City of Edmonds Stormwater Management Code chapter 18.30 ECDC.

D. Housing.

18 To promote a balance in age demographics and encourage age diversity, the City of
20 Edmonds is actively encouraging a greater number of dwelling units targeting young
professionals and young workers through workforce housing provisions. The Westgate Mixed
22 Use District requires that at least 10% of residential units shall be very small units designed
for affordable workforce housing (under 900 square feet) and that not more than 10% of all
dwelling units may exceed 1,600 square feet in size.

24 **22.110.050 Circulation and parking.**

A. Alternative transportation.

26 The goals of the Westgate Mixed Use District include improving connectedness for
pedestrian and bicycle users. Developers of private property within Westgate shall support the
28 pedestrian and bicycle use of the District by providing:

- 30 • Internal circulation systems for both bicyclists and pedestrians within the property,
- Connections to off-site systems in the public right-of-way and on adjacent properties,
- 32 • Bicycle racks and other supportive facilities, and
- Connections to bus stops and transit routes.

B. Access management and internal circulation drives.

34 Access management to properties in Westgate is important for safe and efficient travel
within and between the four quadrants. The number, location and permitted turning
36 movements into and out of driveways on 100th Ave W and SR 104 shall be controlled by the
Westgate Conceptual Access Management Plan (see Figure 22.110.050.B-1). The concepts
38 illustrated in Figure 22.110.050.B-1 are intended to guide review of future access and
circulation within the WMU zone. As permits are processed for properties in the WMU zone,
40 existing driveways that are inconsistent with the Westgate Conceptual Access Management
Plan shall be required to be relocated, reconfigured or eliminated to achieve the City’s access
42 management objectives of providing safe and efficient circulation for vehicles while
providing for safe pedestrian and bicycle circulation.

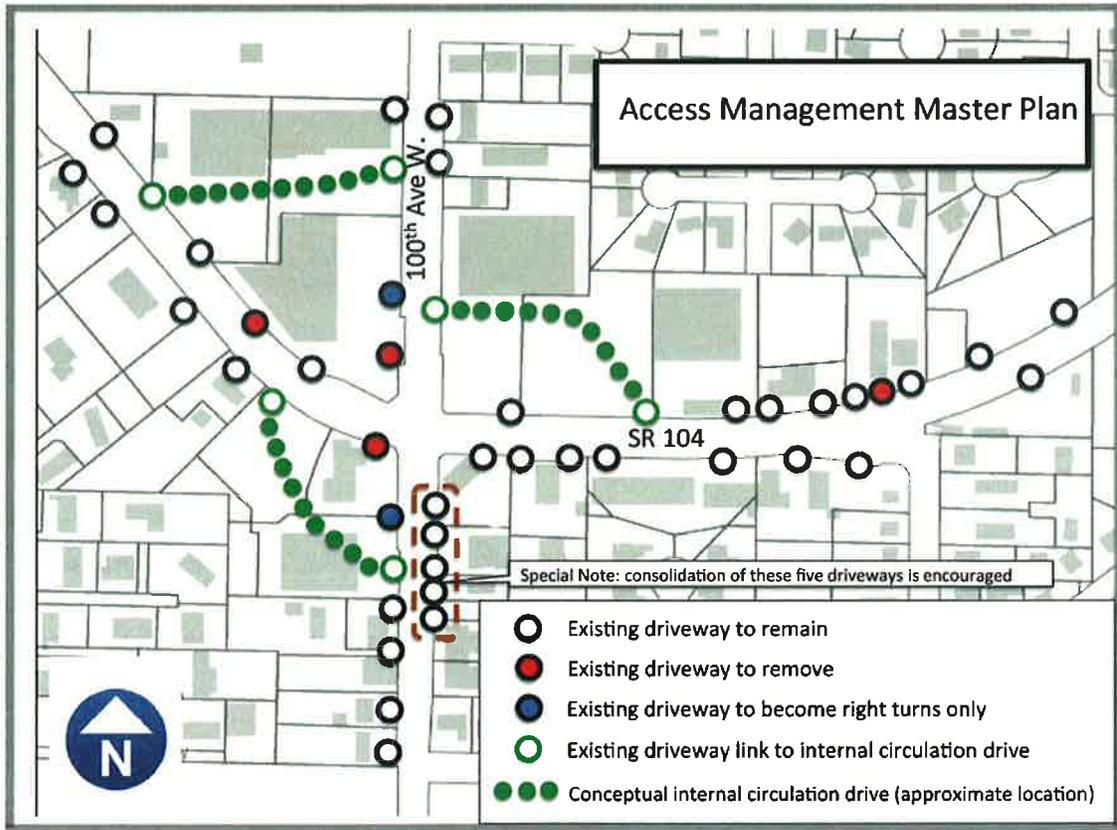
2 Internal circulation drives shall be subject to the dimensions and features specified in this
3 section, and shall connect with the driveways as generally identified in the Conceptual Access
4 Management Plan.

5 The exact placement of internal circulation drives and access driveways shall be evaluated
6 and approved as part of the design review process for permit applications within the WMU
7 zone. Approval shall be conditioned on the construction of the internal circulation drive(s) or,
8 where an applicant does not control all the property that would be necessary to construct the
9 entire circulation drive, the project conditions may be limited to specific components that will
10 help achieve the overall goal. Such conditions may require the construction or binding
11 commitment for construction of a drive segment that, by itself, would not provide circulation
12 but would allow for future circulation when eventually joined with other segments.

13 The concept for an Internal Circulation drive is that of a shared street. This concept is
14 intended to provide access to new residential developments, new and existing businesses,
15 provide pedestrian connectivity, and to reduce the impact of local traffic movement on
16 surrounding arterial streets.

17 Thoroughfare Type: shared street
18 Movement: yield
19 Design Speed: 10 mph
20 Traffic Lanes: 10 feet
21 Parking: none
22 Curb to Curb Distance: no curbs
23 Sidewalks: 6 feet

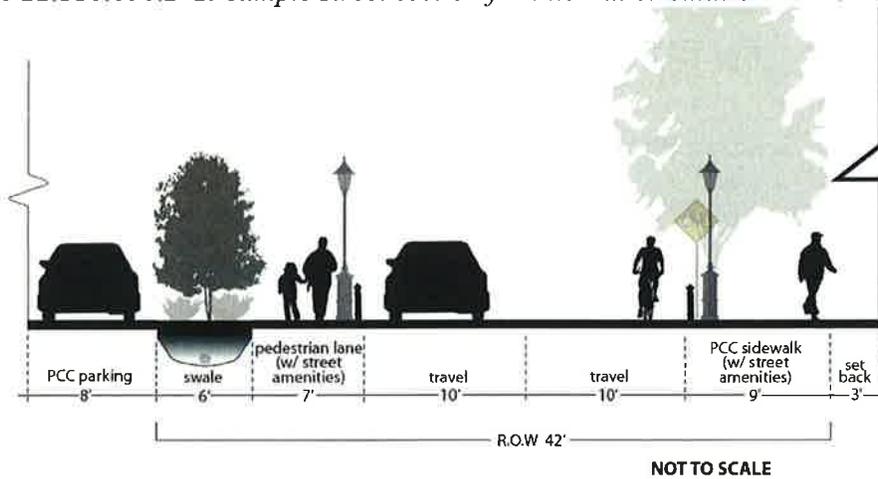
Figure 22.110.050.B-1. Conceptual Access Management Plan



2

4

Figure 22.110.050.B-2. Sample street section for internal circulation drive.



6

C. Parking

2 The Westgate District parking standards are intended to reinforce that the area is
pedestrian-oriented and intended to be equally accessible by people on foot, in wheelchairs,
4 on bicycles, or travelling by motorized vehicles. These standards strive to:

- 5 (a) maximize a compatible mix of parking and pedestrian circulation; and
- 6 (b) encourage the development of shared parking; and
- 7 (c) promote density and diversity of the built environment.

8 Design standards for parking lots include the following:

9 (a) No lot shall be used principally as a parking lot unless it provides centralized parking
10 for the larger developed area framed by external streets (e.g. a parking garage).

11 (b) The edge of any surface parking lot shall be planted with shrubs or street trees, planted
12 at an average distance not to exceed thirty (30) feet on center and aligned three (3) to seven
13 (7) feet behind the common lot line. This requirement may be reduced for parking lot edges
14 abutting parking on adjacent lots, when parking lots are linked by vehicular and pedestrian
connections (see item (f) below).

15 (c) Plantings designed to provide a minimum tree canopy coverage of at least 40% in 10
16 years and no less than 60% in 20 years.

17 (d) Parking lot pathways are to be provided at least every four rows of parking and a
18 maximum distance of 180 feet shall be maintained between paths. Pathways shall connect
19 with major building entries or other sidewalks, pathways, and destinations, and must be
20 universally accessible and meet ADA standards.

21 (e) Landscaping in parking lots shall integrate with on-site pathways, include permeable
22 pavements or bioswales where feasible, and minimize use of impervious pavement.

23 (f) Where a parking lot is abutting another parking lot on an adjacent lot, vehicular and
24 pedestrian connections between lots are required, to facilitate circulation within Westgate and
25 to reduce the need for vehicles to return to the street when traveling between sites.

26 (g) Parking may not be located within the first 30 feet of the exterior of any building where
27 such building exterior fronts SR-104 or 100th Ave W.

22.110.070 Amenity Space, Open Space, and Green Factor Standards.

30 **A. Purpose and intent.**

31 This section identifies the types of amenity space and open space allowed to satisfy the
32 requirements of the Westgate Mixed Use zone, and provides design standards for each type to
33 ensure that proposed development is consistent with the City of Edmonds’ goals for character
34 and quality of the buildings and spaces to be constructed on private property within the
35 Westgate area. This section also describes the Green Factor requirements that apply to each
36 development within Westgate.

37 The intent of the proposed system is not only to establish amenity spaces that serve the
38 community and local needs, but also to provide for the protection and enhancement of natural
39 resources for the benefit of the greater community. Core principles of the Westgate Mixed
40 Use Zone are to promote:

- 41 • an environment that encourages and facilitates bicycling and pedestrian activity —
- 42 “walkable” streets that are comfortable, efficient, safe, and interesting; and

• coherence of the public-right-of-way, serving to assist residents, building owners and managers with understanding the relationship between the public right-of-way and their own properties; and

• sustainability by providing for trees and plants which contribute to privacy, the reduction of noise and air pollution, shade, maintenance of the natural habitat, conservation of water and rainwater management.

B. Green Factor Requirements

1. Overview

The Green Factor sets a minimum score that is required to be achieved by each development through implementation of landscaping practices. The program provides a menu of landscaping practices that are intended to increase the functional quantity of landscape in a site, to improve livability and ecological quality while allowing flexibility in the site design and implementation. In this approach, each qualified landscape feature utilized in a project earns credits that are weighted and calculated through use of the Green Factor Scoresheet. The score is based upon the relationship between the site size and the points earned by implementation of the specified landscape features.

For example, credits may be earned for quantity and size of trees and shrubs, bioretention facilities, and depth of soil. Built features such as green roofs, vegetated walls and permeable paving may also earn credits. Bonus points may be earned with supplementary elements such as drought tolerant and native plants, rainwater irrigation, public visibility and food cultivation. Scoring priorities come from livability considerations, an overall decrease in impervious surfaces and climate change adaptation. The functional benefits target a reduction in stormwater runoff, a decrease in building energy, a reduction in greenhouse gas emissions, and an increase in habitat space.

The minimum score required for all new development in the Westgate District is 0.3, earned through implementation of features specified below that comply with Green-Factor standards. The implementation of the Green Factor does not have any effect upon other site requirements such as Setbacks, Open Space Standards, Street and Parking Standards, and City of Edmonds Municipal Stormwater Code and City of Edmonds Code for Landscaping Requirements that also apply. Green Factor credit may be earned for these site requirements only if they comply with Green Factor standards.

2. Application and Implementation

The Green Factor for the Westgate District uses for reference Seattle Green Factor tools. These include:

- the Green Factor Worksheet
- the Green Factor Score Sheet
- the Green Factor Plant List
- the Green Factor Tree List.

The Green Factor tools are adopted in ECDC 22.110.100.

In complying with the Green Factor Code, the following steps apply:

Step 1. Designers and permit applicants select features to include in planning their site and building and apply them to the site design. Applicants track the actual quantity—e.g. square footage of landscaped areas, pervious paved amenity space, number of trees—using the Green Factor Worksheet.

Step 2. Calculations from the Worksheet are entered on the Scoresheet. The professional also enters the site's square footage on the electronic Scoresheet. The instrument then scores each category of proposed landscape improvements, and provides a total score in relation to the overall site size. The designer can immediately know if the site design is achieving the required score of 0.30, and can adjust the design accordingly. Note that improvements to the public right-of-way (such as public sidewalks, street tree plantings) are allowed to earn points, even though only the private site square footage is included in the site size calculation.

Step 3. The landscape professional submits the Scoresheet with the project plans, certifying that the plan meets or exceeds the minimum Green Factor Score and other requirements for the property. The submission also requires indication that a Landscape Management Plan has been submitted to the client.

Step 4. City of Edmonds staff verify that the code requirements have been met before issuance of a permit.

Using Green Factor with Other Requirements

While a specific green feature may count for both Green Factor calculations and other requirements such as Amenity Space or Open Space, the requirements for each need to be met independently. The percentage of Amenity Space for Westgate is 15% of lot size, to be addressed within each development project. The Open Space section 22.110.070(D) also addresses green feature requirements, such as retention of vegetation on steep slopes, specifications for tree size, and stormwater management (refer to ECDC18.30); these are examples of features that are likely to overlap with and contribute to the Green Factor score while also contributing to the Open Space requirement.

3. Green Factor Categories:

The Green Factor tools may take into account the following Landscape Elements:

- Landscaped Areas (based on soil depth)
- Bio-retention Facilities
- Plantings (mulch and ground cover)
- Shrubs and Perennials
- Tree Canopy (based on tree sizes)
- Green Roofs
- Vegetated Walls
- Approved Water Features
- Permeable Paving
- Structural Soil Systems
- Bonuses for Drought Tolerant Plants, Harvested Rain Water, Food Cultivation, etc.

C. Amenity Space

Amenity space is designed to provide residents and visitors of all ages with a variety of outdoor activity space. Although the character of these amenity spaces will differ, they form the places that encourage residents and visitors to spend time in the company of others or to enjoy time in an outdoor setting.

All new development shall provide amenity space equal to at least 15% of the lot size. Additional amenity space above the 15% base requirement is encouraged and can be part of the development's Green Factor plan outlined in chapter 22.110.070(B) ECDC or can contribute to bonus heights as defined in chapter 22.110.090 ECDC. All qualifying amenity space shall be open and accessible to the public during business hours. Qualifying amenity

space shall be open to the air and located within six feet of the finished grade in order to provide some opportunity for variety and interest in public space while assuring easy accessibility for the public.

Required and bonus amenity space must be provided in one or more of the following forms and no others:

(a) Lawns: An open space, available for unstructured recreation. A lawn may be spatially defined by landscaping rather than building frontages. Its landscape shall consist of lawn and trees and shall provide a minimum of 60% planted pervious surface area (such as a turf, groundcover, soil or mulch.)

(b) Plazas: An open space, available for civic purposes and commercial activities. A plaza shall be spatially defined primarily by building facades, with strong connections to interior uses. Its landscape shall consist primarily of pavement. Trees are encouraged. Plazas shall be located between buildings and at the intersection of important streets. Plazas shall provide a minimum of 20% planted pervious surface area (such as a rain garden, bioswale, turf, groundcover, soil or mulch). The remaining balance may be any paved surface with a maximum 30% impervious paved surface.

(c) Squares: An open space available for unstructured recreation or civic purposes. A square is spatially defined by building facades with strong connections to interior uses. Its landscape shall consist of paths, lawns and trees with a minimum of 20% planted pervious surface area (such as a rain garden, bioswale, turf, groundcover, soil or mulch). The remaining balance may be any paved surface with a maximum 30% impervious paved surface.

Sidewalks: Although not counting toward required amenity space, the purpose of sidewalks is to provide safe, convenient, and pleasant pedestrian circulation along all streets, access to shopfronts and businesses, and to improve the character and identity of commercial and residential areas consistent with the City of Edmonds vision. New development meeting the standards of this Chapter may be allowed to use a portion of the sidewalk area within the public right-of-way for outdoor seating, temporary displays, or other uses consistent with City code standards.

D. Open Space

All new development shall provide a minimum of 15% of lot size as open space. Qualifying open space shall be unobstructed and open to the air. The goal for the overall open space in the Westgate Mixed Use zone is to create a unified, harmonious, and aesthetically pleasing environment that also integrates sustainable concepts and solutions that restore natural functions and processes. In addition to amenity space, the Westgate Mixed Use zone shall incorporate open space, as described in the regulations for each building type. Features contributing to the landscape character of Westgate also include:

(a) Trees: The location and selection of all new tree planting will express the underlying interconnectivity of the Westgate District and surrounding neighborhoods. Species selection will be in character with the local and regional environment, and comprised of an appropriate mix of evergreen and deciduous trees. Trees will be used to define the landscape character of open space and amenity space areas, identify entry points, and reinforce the legibility of the District by defining major and minor thoroughfares for pedestrians, bicycles and vehicles.

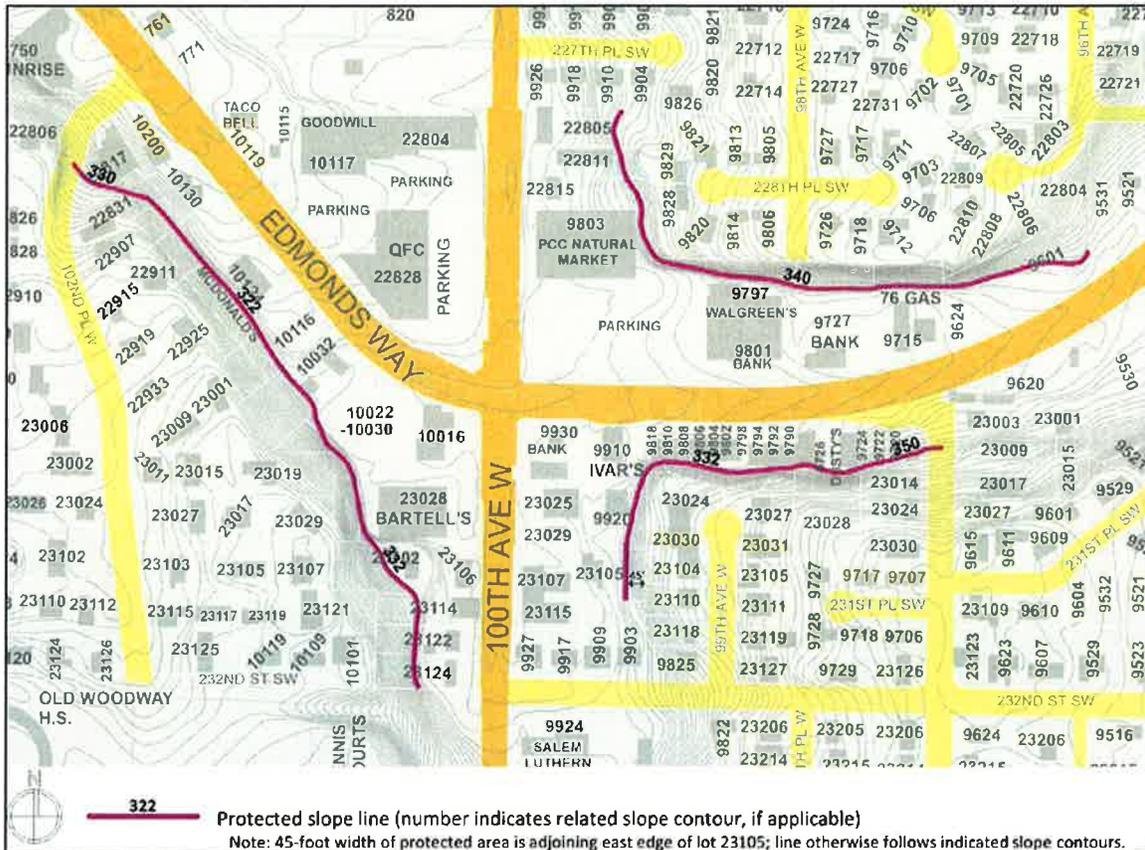
- All new development shall preserve existing trees wherever feasible.
- All new development shall plant new trees in accordance with this chapter.

2 Trees not included in amenity space or open space areas are not counted toward meeting
3 overall amenity space or open space requirements. For example, individual trees planted
4 along walkways or driveways may count toward meeting the Green Factor requirements but
5 are not counted as open space.

6 (b) Steep Slopes: New development shall protect steep slopes by retaining all existing trees
7 and vegetation on protected slopes, as shown on the map included in this section (Figure
8 22.110.070.D). No development activity, including activities such as clearing, grading, or
9 construction of structures or retaining walls, shall extend uphill of the protected slope line
10 shown on the following map. Protected slope areas may count toward required open space if
11 they retain existing trees or are supplemented to provide a vegetative buffer.

12 (c) Stormwater Management: Stormwater runoff from sidewalks should be conveyed to
13 planted parkways or landscaped rain gardens. Overflow from parkways and runoff from the
14 roadways should be directed into bioswales and/or pervious paving in curbside parking areas,
15 located along the street edges where it can infiltrate into the ground. Perforated curbs through
16 which street stormwater runoff can flow to open vegetated swales may also be provided,
17 wherever feasible. Stormwater features such as bioswales or planted rain gardens may count
18 toward required open space only if they are entirely landscaped.

20 Figure 22.110.070.D Protected Slopes



2 **22.110.080 Public Space Standards.**

4 Future development of the Westgate Mixed Use District shall capitalize on opportunities to
6 create and enhance public spaces for recreational use, pedestrian activity, and ecological
health to strengthen the overall character of the District’s public spaces.

8 **A. Public Space: General Requirements**

Public space shall enhance and promote the environmental quality and the aesthetic
character of the Westgate District in the following ways:

10 (a) the landscape shall define, unify and enhance the public realm; including streets, parks,
plazas, and sidewalks;

12 (b) the landscape shall be sensitive to its environmental context and utilize plant species
that reduce the need for supplemental irrigation water;

14 (c) the landscape shall cleanse and detain storm water on site by utilizing a combination of
biofiltration, permeable paving and subsurface detention methods; and,

16 (d) the landscape shall be compatible with encouraging health and wellness, encouraging
walking, bicycling, and other activities.

18 **B. Public Space: Sustainability**

20 The goal for the overall landscape design of public spaces is to create a unified,
harmonious, socially vibrant, and aesthetically pleasing environment that also integrates
22 sustainable concepts and solutions to restore natural functions and processes. The public right
of way and urban\street runoff becomes an extension of existing drainage pathways and the
24 natural ecology.

Water efficient landscaping shall be introduced to reduce irrigation requirements based on a
26 soil/ climate analysis to determine the most appropriate indigenous/native-in-character, and
drought tolerant plants. All planted areas, except for lawn and seeded groundcover, shall
28 receive a surface layer of specified recycled mulch to assist in the retention of moisture and
reduce watering requirements, while minimizing weed growth and reducing the need for
30 chemical herbicide treatments.

Where irrigation is required, high efficiency irrigation technology with low-pressure
32 applications such as drip, soaker hose, rain shut-off devices, and low volume spray will be
used. The efficiency and uniformity of a low water flow rate reduces evaporation and runoff
34 and encourages deep percolation. After the initial growth period of three to seven years,
irrigation may be limited in accordance with City requirements then in place.

36 The location and selection of all new tree planting will implement ‘green infrastructure’
principles and visually express the underlying interconnectivity of the Westgate development
38 by doing the following:

- 40 1. Species selection shall be comprised of an appropriate mix of evergreen and
deciduous trees.
- 42 2. Trees shall be used to define the landscape character of recreation and open space
areas, identify entry points, and reinforce the legibility of the neighborhood by
defining major and minor thoroughfares for pedestrians, bicycles, and vehicles.
- 44 3. Trees shall also be used to soften and shade surface parking and circulation areas.



2

C. Stormwater Management.

4 Stormwater shall be consistent with chapter 18.30 ECDC.

6 Stormwater and hydrology components shall be integrated into the Westgate District to restore and maintain natural functions and processes, mitigate negative environmental impacts.

8 Public rights-of-way, proposed open space and parking lots shall filter and infiltrate stormwater to the maximum extent feasible to protect the receiving waters of Puget Sound. This ecological concept transcends the Westgate District to positively affect the surrounding neighborhoods, stream corridors and the regional watershed.

12 The two primary objectives of the proposed stormwater and hydrology components are:

- 14 (a) to reduce volume and rate of runoff; and
- 14 (b) to eliminate or minimize runoff pollutants through natural filtration.

These objectives shall be met by:

- 16 (a) maximizing pervious areas;
- 16 (b) maximizing the use of trees;
- 18 (c) controlling runoff into bioswales and biofiltration strips;
- 18 (d) utilizing permeable paving surfaces where applicable and feasible;
- 20 (e) utilizing portions of parks and recreational spaces as detention basin; and
- 20 (f) removing sediments and dissolved pollutants from runoff.

22

D. SR-104 / 100th Avenue Intersection.

24 1. The design objectives for development, amenity space, open space, and landscape construction features at this key intersection are to provide a sense of place and convey the walkable and sustainable character of the Westgate District.

26 2. Building step-backs, pedestrian oriented façades and amenities are required for the portions of buildings within forty feet of the corner at each quadrant of this intersection, as illustrated in Figure 22.110.010.B.

28 3. The design objectives at this intersection shall be addressed with a combination of building façade treatments, public signage and amenity features (e.g. water features, art work, bollards, benches, pedestrian scale lighting, arbors, greenwalls, landscaping, arcades) to

32

2 signify the intersection's importance as a focal point of the Westgate area (see Figure
22.110.080.D for examples).

4 Figure 22.110.080.D. Examples of identity and landscape construction features



6

22.110.090 Height Bonus.

8 Areas eligible for a 4th story height bonus are shown in the diagram contained in chapter
22.110.010.B ECDC. Areas within the Westgate Mixed Use District that are not shown in
10 diagram ECDC 22.110.010.B may not contain four story buildings regardless of how many
12 points such a development could achieve on the Height Bonus Score Sheet, below. In order to
14 obtain the height bonus for projects in eligible areas, the proposal must obtain 8 points from
the Height Bonus Score Sheet, with at least one point in each of at least four different scoring
categories.

16 When a 4th story is proposed in a building, the 4th story must be stepped back at least 10
feet from a building façade facing SR-104 or 100th Ave W. In addition, no 3rd or 4th story may
18 be located within 30 feet of the intersection of SR-100 and 100th Ave W, measured from the
corner points of the right-of-way intersection.

20 For proposals seeking to earn points in the Green Building Program category, the applicant
shall be required to submit a deposit sufficient for the city to retain an independent green
22 building consultant who is qualified to evaluate the construction of the building at key
milestones in order to determine that the building is being constructed in a manner that is
consistent with the points proposed on the Height Bonus Score Sheet.

24

Height Bonus Score Sheet			
Height Bonus to obtain 4 stories requires 8 points with points in at least 4 categories ¹			
Green Building Program (points are <i>not</i> additive)			Points
<input type="checkbox"/>	Required ²	Built Green*/LEED* Certified Rating or equivalent	Required
<input type="checkbox"/>	Credit 1	LEED* Silver / Built Green* 4-5 Rating	1
<input type="checkbox"/>	Credit 2	LEED* Gold or Evergreen Sustainable Development Rating	2
<input type="checkbox"/>	Credit 3	Passive House Standard / LEED* Platinum Rating	4
<input type="checkbox"/>	Credit 4	Living Building*	6
Green Factor (points are <i>not</i> additive)			Points
<input type="checkbox"/>	Required	Green Factor Score 0.3	Required
<input type="checkbox"/>	Credit 1	Green Factor Score 0.4	2
<input type="checkbox"/>	Credit 2	Green Factor Score 0.5	3
<input type="checkbox"/>	Credit 3	Green Factor Score 0.6	4
<input type="checkbox"/>	Credit 4	Green Factor Score ≥0.7	5
Amenity Space (points are <i>not</i> additive)			Points
<input type="checkbox"/>	Required	Percentage of amenity space 15%	Required
<input type="checkbox"/>	Credit 1	Percentage of amenity space 20%	2
<input type="checkbox"/>	Credit 2	Percentage of amenity space 25%	3
<input type="checkbox"/>	Credit 3	Percentage of amenity space ≥30%	4
Miscellaneous (points are additive)			Points
<input type="checkbox"/>	Required	Meet street standards incl. bikeway & pedestrian networks	Required
<input type="checkbox"/>	Credit 1	Car-share parking ³ , provide minimum 2 spaces	1
<input type="checkbox"/>	Credit 2	Charging facility for electric cars, provide minimum 4 spaces	1
<input type="checkbox"/>	Credit 3	Indoor/covered bicycle storage and indoor changing facilities	1
<input type="checkbox"/>	Credit 4	Public art integrated into provided amenity space	1
Large Format Retail Space			
<input type="checkbox"/>	Credit 1	Development contains one or more retail spaces >15,000 sf	3

¹ See locational requirements for extra floor bonus in chapter 22.110.090 ECDC.

2 ² “Required” means required for all development, whether seeking a height bonus or not.

4 ³ “Car-share” parking refers to parking for vehicles that are rented by the hour or portion of a day.

22.110.100 Green Factor Tools

6 The Green Factor Tools included in Exhibit A are adopted by reference herein as if set
 8 forth in their entirety for use in meeting the Green Factor requirements described in ECDC
 22.110.070(B).

Exhibit A

Edmonds Green Factor Tools

This document includes the following materials:

Green Factor Worksheet

Green Factor Score Sheet

Green Factor Plant List

Green Factor Trees

Green Factor Worksheet*

		Planting Area					TOTAL**
		1	2	3	keep adding columns as needed		
A1	<i>square feet</i>						0
A2	<i>square feet</i>						0
A3	<i>square feet</i>						0
B1	<i>square feet</i>						0
B2	<i># of plants</i>						0
B3	<i># of trees</i>						0
B4	<i># of trees</i>						0
B5	<i># of trees</i>						0
B6	<i># of trees</i>						0
B7	<i># of trees</i>						0
C1	<i>square feet</i>						0
C2	<i>square feet</i>						0
D	<i>square feet</i>						0
E	<i>square feet</i>						0
F1	<i>square feet</i>						0
F2	<i>square feet</i>						0
G	<i>square feet</i>						0
H1	<i>square feet</i>						0
H2	<i>square feet</i>						0
H3	<i>square feet</i>						0
H4	<i>square feet</i>						0

* See Green Factor score sheet for category definitions

** Enter totals on the Green Factor score sheet

Green Factor Score Sheet

Project title:

		enter sq ft of parcel		SCORE	
Parcel size (enter this value first) *		5,000			-
Landscape Elements		Totals from GF worksheet	Factor	Total	
A Landscaped areas (select one of the following for each area)					
1	Landscaped areas with a soil depth of less than 24"	enter sq ft 0	0.1	-	
2	Landscaped areas with a soil depth of 24" or greater	enter sq ft 0	0.6	-	
3	Bioretention facilities	enter sq ft 0	1.0	-	
B Plantings (credit for plants in landscaped areas from Section A)					
1	Mulch, ground covers, or other plants less than 2' tall at maturity	enter sq ft 0	0.1	-	
2	Shrubs or perennials 2'+ at maturity - calculated at 12 sq ft per plant (typically planted no closer than 18" on center)	enter number of plants 0	0	0.3	-
3	Tree canopy for "small trees" or equivalent (canopy spread 8' to 15') - calculated at 75 sq ft per tree	enter number of plants 0	0	0.3	-
4	Tree canopy for "small/medium trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree	enter number of plants 0	0	0.3	-
5	Tree canopy for "medium/large trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree	enter number of plants 0	0	0.4	-
6	Tree canopy for "large trees" or equivalent (canopy spread of 26' to 30') - calculated at 350 sq ft per tree	enter number of plants 0	0	0.4	-
7	Tree canopy for preservation of large existing trees with trunks 6"+ in diameter - calculated at 20 sq ft per inch diameter	enter inches DBH 0	0	0.8	-
C Green roofs					
1	Over at least 2" and less than 4" of growth medium	enter sq ft 0	0.4	-	
2	Over at least 4" of growth medium	enter sq ft 0	0.7	-	
D Vegetated walls					
		enter sq ft 0	0.7	-	
E Approved water features					
		enter sq ft 0	0.7	-	
F Permeable paving					
1	Permeable paving over at least 6" and less than 24" of soil or gravel	enter sq ft 0	0.2	-	
2	Permeable paving over at least 24" of soil or gravel	enter sq ft 0	0.5	-	
G Structural soil systems					
		enter sq ft 0	0.2	-	
		sub-total of sq ft = 0			
H Bonuses					
1	Drought-tolerant or native plant species	enter sq ft 0	0.1	-	
2	Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater	enter sq ft 0	0.2	-	
3	Landscaping visible to passersby from adjacent public right of way or public open spaces	enter sq ft 0	0.1	-	
4	Landscaping in food cultivation	enter sq ft 0	0.1	-	
				Green Factor numerator = -	

* Do not count public rights-of-way in parcel size calculation.

- Notes:
- All plants on this list are drought-tolerant once they are established unless comments indicate otherwise.
 - Seattle Department of Transportation Right-of Way Improvement Manual establishes height limits for non-street-tree plantings in rights-of-way. Maximum plant height within 30 feet of an intersection (as measured from the corner of the curb) is 24 inches. Elsewhere in the right-of-way, plantings are allowed to be 30 inches tall.
 - "Bioretention Zone" describes where plants can appropriately be used in bioretention systems such as swales and rain gardens. Zone 1 is the designation for plants that can be used in the flat bottoms of bioretention facilities: 1A refers to species that prefer soil saturation or shallow inundation for long durations, while Zone 1B refers to plants that can alternate between dry and short-term saturated conditions. Zone 2 is the designation for plants best used at the well-drained slopes of bioretention facilities. All other species are appropriate for planting at the tops of bioretention areas.

GROUNDCOVERS									
Scientific Name	Common Name	Evergreen	Shade	Sun	Native	up to 24"	2-3' ht	Bioretention Zone	Notes
<i>Arctostaphylos uva-ursi</i>	kinnikinnick	•		•	•	•			
<i>Asarum caudatum</i>	wild ginger	•	•		•				
<i>Calluna</i> , in variety	heather	•		•		•			
<i>Ceratostigma plumaginoides</i>	hardy plumbago	•	•	•		•			
<i>Daboecia cantabrica</i>	Irish heath	•		•		•			
<i>Erica</i> , in variety	heath	•		•		•			
<i>Eriogon karvinskianus</i>	Latin American fleabane	•	•	•		•			
<i>Euonymus fortunei</i> 'Colorata'	wintercreeper euonymous	•	•	•		•			
<i>Festuca glauca</i>	blue fescue	•		•		•			
<i>Fragaria chiloensis</i>	beach strawberry	•	•	•	•	•			Aggressive
<i>Fragaria</i> x 'Lipstick'	pink-flowered barren strawberry	•	•	•		•			Aggressive
<i>Genista lydia</i>	hardy dwarf broom	•		•		•			
<i>Genista pilosa</i>	silkyleaf broom	•		•		•			
<i>Juniperus conferta</i>	shore juniper	•		•		•			
<i>Microbiota decussata</i>	Russian arborvitae	•		•		•		2	
<i>Pachysandra terminalis</i>	Japanese spurge	•	•	•		•			
<i>Pachysandra procumbens</i>	Allegheny pachysandra	•	•	•		•			
<i>Paxistima canbyi</i>	Canby paxistima	•	•	•		•			
<i>Rubus pentalobus</i>	creeping bramble	•	•	•		•			
<i>Vinca minor</i>	periwinkle	•	•	•		•			

PERENNIALS / FERNS / GRASSES									
Scientific Name	Common Name	Evergreen	Shade	Sun	Native	up to 24"	2-3' ht	Bioretention Zone	Notes
<i>Achillea millefolium</i>	yarrow	•		•		•			
<i>Allium</i> , in variety	ornamental allium			•		•			
<i>Aranuncus sylvestris</i> "Misty Lace"	dwarf goatsbeard		•	•	•	•		1B	
<i>Aster</i> , in variety	aster			•		•	•		
<i>Athyrium filix-femina</i>	lady fern		•	•	•	•	•		

Scientific Name	Common Name	Evergreen	Shade	Sun	Native	up to 24"	2-3' ht	Bioretenition Zone	Notes
<i>Scirpus atrovinctus</i>	wool-grass	•		•	•		•	1A, 1B	Not drought-tolerant
<i>Scirpus microcarpus</i>	small-fruited bulrush		•	•	•			1A	Not drought-tolerant
<i>Thymus</i> , in variety	thyme	•	•	•					
<i>Toimaea menziesii</i>	youth-on-age	•	•	•	•				
<i>Tulipa</i> , in variety	tulip					•			
<i>Yucca filamentosa</i>	yucca	•		•	•		•		

LOW SHRUBS (pruning may be required to maintain 24" or 30" maximum height in ROW)

Scientific Name	Common Name	Evergreen	Shade	Sun	Native	up to 24"	2-3' ht	Bioretenition Zone	Notes
<i>Abelia x grandiflora</i> 'Rose Creek'	Abelia	•	•	•			•	2	
<i>Arctostaphylos densiflora</i>	Vine Hill manzanita	•		•			•	2	
<i>Arctostaphylos pumila</i>	manzanita	•		•			•		
<i>Berberis buxifolia</i> 'Pygmaea' or 'Nana'	dwarf boxleaf barberry	•		•			•		
<i>Berberis candidula</i>	paleleaf barberry	•	•	•			•		
<i>Berberis darwinii</i> 'Compacta'	dwarf Darwin barberry	•		•			•		
<i>Berberis stenophylla</i> 'Corallina Compacta'	dwarf coral hedge barberry	•		•			•		
<i>Berberis thunbergii</i>	Japanese barberry	•		•			•	2	
<i>Berberis verruculosa</i>	warty barberry	•	•	•			•		
<i>Buxus microphylla</i> 'Compacta'	little-leaf boxwood	•	•	•			•	2	
<i>Buxus sempervirens</i> 'Suffruticosa'	common edging boxwood	•	•	•		•	•	2	
<i>Caryopteris</i> , in variety	caryopteris			•			•	2	
<i>Cassinia leptophylla</i>	cassinia	•		•			•	2	
<i>Ceanothus gloriosus</i>	Point Reyes ceanothus	•		•		•	•	2	
<i>Chamaecyparis obtusa</i> 'Nana'	dwarf hinoki cypress	•	•	•			•	2	
<i>Cistus</i> , in variety	rockrose	•		•			•	1B, 2	
<i>Cornus sericea</i> 'Kelseyii'	Kelsey redstem dogwood	•		•			•		
<i>Cotoneaster dammeri</i>	bearberry cotoneaster	•		•		•	•		
<i>Daboecia cantabrica</i>	Irish heath	•		•			•		
<i>Escallonia</i> 'Compacta'	compact escallonia	•	•	•			•	2	
<i>Euonymus japonicus</i> 'Microphyllus'	evergreen euonymous	•	•	•			•	2	
<i>Euryops</i> , in variety	euryops	•		•		•	•	2	
<i>Gaultheria shallon</i>	santal	•	•	•	•		•	2	
<i>Halimocistus x wintonensis</i>	halimocistus	•		•			•	2	
<i>Hebe</i> , in variety	hebe	•		•			•	2	
<i>Hydrangea quercifolia</i> 'Pee Wee'	dwarf oak-leaf hydrangea	•	•	•			•	1B, 2	
<i>Ilex crenata</i> 'Compacta'	Japanese holly	•	•	•			•	2	
<i>Ilex crenata</i> 'Helleri'	Heller Japanese holly	•	•	•			•		
<i>Lavandula</i> , in variety	lavender	•		•			•	2	
<i>Mahonia nervosa</i>	low Oregon holly-grape	•	•	•			•	2	
<i>Mahonia repens</i>	creeping Oregon holly-grape	•	•	•	•		•		
<i>Nandina domestica</i> 'Compacta' or 'Harbor Dwarf' or 'Gulf Stream'	dwarf heavenly-bamboo	•	•	•			•	2	

VINES									
Scientific Name	Common Name	Evergreen	Shade	Sun	Native	up to 24"	2-3' ht	Bioretention Zone	Notes
<i>Actinidia kolomikta</i>	Kolomikta kiwi		•	•					
<i>Akebia quinata</i>	5-leaf akebia	•	•	•					Aggressive
<i>Aristolochia macrophylla</i>	Dutchman's pipe		•	•					
<i>Clematis armandii</i>	evergreen clematis	•		•					
<i>Clematis x cartmannii</i> "Blaavaal"	Avalanche evergreen clematis	•		•					
<i>Clematis montana</i>	anemone clematis			•					
<i>Euonymus fortunei</i> 'Kewensis' or 'Radicans'	climbing wintercreeper	•	•	•					
<i>Hydrangea anomala</i>	climbing hydrangea			•					
<i>Jasminum grandiflorum</i>	climbing jasmine	•	•						
<i>Lonicera ciliosa</i>	orange honeysuckle		•		•				
<i>Lonicera sempervirens</i> or <i>L. heckrottii</i>	trumpet honeysuckle / coral honeysuckle			•					
<i>Passiflora</i> , in variety	passion vine	•		•					
<i>Parthenocissus quinquefolia</i>	Virginia creeper			•					Aggressive
<i>Parthenocissus tricuspidata</i>	Boston ivy		•						
<i>Trachelospermum jasminoides</i>	star jasmine	•	•	•					
<i>Wisteria</i> , in variety	wisteria			•					

GREEN ROOF PLANTS									
Scientific Name	Common Name	Evergreen	Shade	Sun	Native	up to 24"	2-3' ht	Bioretention Zone	Notes
<i>Allium schoenoprasum</i>	chives			•					
<i>Allium senescens</i>	lavender-flowered onion		•	•					
<i>Delosperma nubigenum</i>	yellow ice plant	•	•	•					
<i>Festuca idahoensis</i>	Idaho fescue	•		•					
<i>Fragaria chiloensis</i>	barren strawberry	•	•	•					
<i>Hebe decumbens</i>	ground hebe	•	•	•					
<i>Helianthemum nummularium</i> , in variety	sunrose	•		•					
<i>Heuchera micrantha</i>	coral bells/alumroot	•	•	•					
<i>Iberis sempervirens</i>	evergreen candytuft	•	•	•					
<i>Monita parviflora</i>	small-flowered spring-beauty	•	•	•					
<i>Rosmarinus officinalis</i> 'Prostratus'	prostrate rosemary	•		•					
<i>Sedum dasyphyllum</i>	thick-leaf stonecrop	•	•	•					
<i>Sedum divergens</i>	Pacific stonecrop	•		•					
<i>Sedum kamtschaticum</i>	Russian stonecrop	•		•					
<i>Sedum laxum</i>	roseflower stonecrop	•		•					
<i>Sedum oreganum</i>	Oregon stonecrop	•		•					
<i>Sedum spathulifolium</i>	broadleaf stonecrop	•		•					
<i>Sedum stelfo</i>	stonecrop	•		•					
<i>Sempervivum arachnoideum</i>	hens and chicks	•		•					
<i>Sisyrinchium bellum</i>	blue-eyed grass	•		•					
<i>Talinum calycinum</i>	fame flower	•		•					
<i>Trifolium repens</i>	New Zealand White Clover	semi		•					

SPECIES NOT PERMITTED IN ROW OR NEW LANDSCAPE PLANS	
<i>Scientific Name</i>	<i>Common Name</i>
<i>Hedera helix</i> --all varieties	English ivy
<i>Buddleia</i>	butterfly bush
<i>Clematis vitalba</i>	old man's beard
<i>Ilex aquifolium</i>	English holly
<i>Prunus laurocerasus</i>	English Laurel
<i>Polygonum aubertii</i>	silver lace vine
Any plant species classified by King County as a Class A, B, or C Noxious Weed	

Green Factor Trees (Sorted according to criteria)

Group	Botanical Name	Common Name	Height	Spread	Shape	Volume	Strip Width	Wires	Fall Color	Comments	Street Tree	Native Tree
Large	Abies grandis	Grand Fir	100	35		0		<input type="checkbox"/>		Grows at 0-1500 m in moist conifer forests	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Abies procera	Noble Fir	90	30		0		<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>
	Acer freemanii	'Autumn Blaze'	50	40		37700	6	<input type="checkbox"/>	Orange		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Acer macrophyllum	Big Leaf Maple	100	80	Rounded	0		<input type="checkbox"/>	yellow / brown	Very large native	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Acer platanoides	'Emerald Queen'	50	40		50300	6	<input type="checkbox"/>	Yellow		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Acer saccharum	'Bonfire'	50	40	Oval	50300	6	<input type="checkbox"/>	Bright orange red	Fastest growing sugar maple.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Acer saccharum	'Commemorat'	50	35		38500	6	<input type="checkbox"/>	Orange to orange-red	Resistant to leaf litter.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Acer saccharum	'Legacy'	50	35		38500	5	<input type="checkbox"/>	Yellow or orange/red	Limited use - where sugar maple is desired in standard planting strips	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Aesculus flava	Yellow Buckeye	70	40		0		<input type="checkbox"/>	yellow / orange	yellow flowers - least susceptible to leaf blotch - large fruit	<input type="checkbox"/>	<input type="checkbox"/>
	Alnus rubra	Red Alder	70	35	Broadly coni	0		<input type="checkbox"/>	yellow / brown	nitrogen fixing	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Cercidiphyllum japonicum	Katsura Tree	40	40	Oval	37700	6	<input type="checkbox"/>	Yellow to orange	Needs lots of water when young	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Fagus sylvatica	Green Beech	50	40	Oval	50300	6	<input type="checkbox"/>	Bronze	Silvery-grey bark.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Fagus sylvatica	'Asplenifolia'	60	60		0	6	<input type="checkbox"/>	golden / brown	Beautiful cut leaf	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Fraxinus latifolia	Oregon Ash	60	35		0		<input type="checkbox"/>	yellow / brown	Only native ash in PNW	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Group Botanical Name Common Name Height Spread Shape Volume Strip Width Wires Fall Color Comments Street Tree Native Tree

Group	Botanical Name	Common Name	Height	Spread	Shape	Volume	Strip Width	Wires	Fall Color	Comments	Street Tree	Native Tree
	<i>Fraxinus pennsylvanica</i>	'Urbani	50	40	Pyramidal	50300	6	<input type="checkbox"/>	Deep bronze	Tolerant of city conditions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Gymnocladus dioica</i>	'Espresso	50	35	Kentuc	0	6	<input type="checkbox"/>	yellow	very coarse branches - extremely large bi-pinnately compound leaf -	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Liriodendron tulipifera</i>	Tulip Tree	60	30	Oval	35400	8	<input type="checkbox"/>	Yellow	Fast-growing tree.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Nothofagus antarctica</i>	Antarctic Beech	50	35		38500	6	<input type="checkbox"/>	None	Rugged twisted branching and petite foliage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Picea sitchensis</i>	Sitka Spruce	100	30		0		<input type="checkbox"/>	Evergreen	Native environment is characterized by a cool, moist maritime climate	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<i>Pinus monitcola</i>	Western White Pi	100	35		0		<input type="checkbox"/>	Evergreen	Occurs in lowland fog forests or on moist mountain soils - primary host	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<i>Platanus x acerifolia</i>	'Bloodgoo	50	40	Pyramidal	63700	8	<input type="checkbox"/>	Red	More anthracnose resistant - needs space	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Platanus x acerifolia</i>	'Yarwood'	50	40		50300	8	<input type="checkbox"/>	Yellow-brown	High resistance to powdery mildew.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Pseudotsuga menziesii</i>	Douglas Fir	150	35		0		<input type="checkbox"/>	Evergreen		<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<i>Quercus bicolor</i>	Swamp White Oa	45	45		55700	8	<input type="checkbox"/>	Varies.	Shaggy peeling bark	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Quercus coccinea</i>	Scarlet Oak	50	40	Upright	50300	6	<input type="checkbox"/>	Red	Best oak for fall color	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Quercus garryana</i>	Oregon Oak	45	40	Oval	43960	6	<input type="checkbox"/>		Native to Pacific Northwest	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Quercus imbricaria</i>	Shingle Oak	60	50		0	6	<input type="checkbox"/>	golden / brown	nice summer foliage - leaves can persist	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Quercus muhlenbergii</i>	Chestnut Oak	60	50		0	6	<input type="checkbox"/>	brown / yellow	coarsely toothed leaf	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Quercus robur</i>	English Oak	50	40	Rounded	50300	8	<input type="checkbox"/>	Yellow-brown	Large, sturdy tree	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Quercus rubra</i>	Red Oak	50	45	Rounded	65600	8	<input type="checkbox"/>	Red	Fast growing oak - needs space	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Group	Botanical Name	Common Name	Height	Spread	Shape	Volume	Strip Width	Wires	Fall Color	Comments	Street Tree	Native Tree
	Quercus velutina	Black Oak	60	50		0	6	<input type="checkbox"/>	rusty red		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Thuja plicata	Western Red Ce	125	40	Pyramidal	0	0	<input type="checkbox"/>	Evergreen	growth is stunted on dry soils	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Tsuga heterophylla	Western Hemlock	130	30		0	0	<input type="checkbox"/>	Evergreen		<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Ulmus 'Homestead'	Homestead Elm	60	35		48100	6	<input type="checkbox"/>	Yellow		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Ulmus 'Pioneer'	Pioneer Elm	60	50		98200	6	<input type="checkbox"/>	Yellow	Resistant to Dutch elm disease.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Ulmus parvifolia 'Emer II'	Allee Elm	50	35	Vase	38500	5	<input type="checkbox"/>	Yellow-orange	Exfoliating bark and nice fall color	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Zelkova serrata 'Greenvase'	Green Vase Zelk	50	40		50300	5	<input type="checkbox"/>	Orange	Vigorous	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Medium / Large												
	Acer campestre	Hedge Maple	30	30		14100	5	<input type="checkbox"/>	Yellow		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Acer campestre 'Evelyn'	Queen Elizabeth	35	30		17700	5	<input type="checkbox"/>	Yellow	More upright branching than the species.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Acer miyabei 'Morton'	State Street Mapl	45	30		0	5	<input type="checkbox"/>	yellow		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Acer platanoides 'Parkway'	Parkway Norway	40	25		14700	6	<input type="checkbox"/>	Yellow	tolerant of verticillium wilt	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Acer pseudoplatanus 'Atropurp	Spaethii Maple	40	30		21200	5	<input type="checkbox"/>	Not significant	Leaves green on top purple underneath.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Acer saccharum 'Green Mount	Green Mountain	45	35	Oval	33700	6	<input type="checkbox"/>	Red to orange.	Reliable fall color	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Aesculus x carnea	'Briotii' Red Hors	30	35		19200	5	<input type="checkbox"/>	No	Resists heat and drought better than other horsechestnuts.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Betula albosinensis var septle	Chinese Red Birch	45	35		0	5	<input type="checkbox"/>	yellow	pink/ white peeling bark	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Betula jacquemontii	Jacquemontii Bir	40	30	Oval	21200	5	<input type="checkbox"/>	Yellow	White bark makes for good winter interest - best for aphid resistance	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Group Botanical Name Common Name Height Spread Shape Volume Strip Width Wires Fall Color Comments Street Tree Native Tree

Group	Botanical Name	Common Name	Height	Spread	Shape	Volume	Strip Width	Wires	Fall Color	Comments	Street Tree	Native Tree
	Betula papyrifera	Paper Birch	60	35		0			Yellow / brown	High susceptibility to aphid infestation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Chamaecyparis pisifera	Sawara Cypress	45	25	Pyramidal	17200	6		Evergreen	Special site approval needed - many cultivars available	<input type="checkbox"/>	<input type="checkbox"/>
	Corylus columna	Turkish Filbert	40	25	Pyramidal	14800	5		Yellow	Tight, formal, dense crown - not for high pedestrian areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Eucommia ulmoides	Hardy Rubber Tr	50	40		0	5			Dark green shiny leaves	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Fagus sylvatica 'Rotundifolia'	Purple Oak Leaf	50	30		0	6			Attractive purple leaves with wavy margins.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Fraxinus americana 'Autumn A'	Autumn Applaus	40	25	Oval	14700	5		Purple	Compact tree - reportedly seedless	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Fraxinus americana 'Empire'	Empire Ash	50	25	Columnar	17900	5		Rusty Orange	Use for areas adjacent to taller buildings when ash is desired	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Fraxinus pennsylvanica 'Patmo'	Patmore Ash	45	35	Oval	33700	5		Yellow	Extremely hardy, may be seedless.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Ginkgo biloba 'Autumn Gold'	Autumn Gold Gin	45	35	Pyramidal	33700	6		Yellow	Narrow when young	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Halesia monticola	Mountain Silverb	45	25		0	5		yellow	attractive, small white flower	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Koeleruteria paniculata	Goldenrain Tree	30	30		14100		<input checked="" type="checkbox"/>	Yellow	Midsummer blooming.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Liquidambar styraciflua 'Rotun'	Rotundiloba Swe	45	25		17200	6		Purple orange	Only sweetgum that is entirely fruitless. Smooth rounded leaf	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Magnolia denudata	Yulan Magnolia	40	40		0	5			6" inch, fragrant, white blossoms in spring	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Metasequoia glyptostroboides	Dawn Redwood	50	25	Narrow	19625	6		Rusty	Fast growing deciduous conifer	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Nyssa sylvatica	Tupeo	60	20		18800	5		Apricot > bright red	Handsomely chunky bark.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Phellodendron amurense 'Mac'	Macho Cork Tree	40	40		0	5		yellow	Male selection - fruitless - another good variety is 'His Majesty'	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Group	Botanical Name	Common Name	Height	Spread	Shape	Volume	Strip	Width	Wires	Fall Color	Comments	Street Tree	Native Tree
	Pinus nigra	Austrian Pine	45	25	Pyramidal	17200	6		<input type="checkbox"/>	Evergreen	Special site approval needed - fairly tolerant of heat, pollution, urban	<input type="checkbox"/>	<input type="checkbox"/>
	Pinus pinea	Italian Stone Pin	40	30	Pyramidal	21200	6		<input type="checkbox"/>	Evergreen	Special site approval needed	<input type="checkbox"/>	<input type="checkbox"/>
	Populus tremuloides	Quaking Aspen	50	30		0			<input type="checkbox"/>	yellow / orange		<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Pyrus calleryana 'Aristocrat'	Aristocrat Pear	40	30		21200	5		<input type="checkbox"/>	Red	Good branch angles - one of the tallest pears	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Quercus prinus	Italian Oak	50	30	Oval	28300	6		<input type="checkbox"/>	Yellow-Brown	Drought resistant	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Quercus robur 'fastigiata'	Skyrocket Oak	40	15		17200	6		<input type="checkbox"/>	Yellow-brown	Columnar variety of oak	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Salix lasiandra	Pacific Willow	40	30		0			<input type="checkbox"/>	yellow		<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Sophora japonica 'Regent'	Japanese Pagod	50	40		0	6		<input type="checkbox"/>	yellow	can have trunk canker or twig blight	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Taxodium distichum	Bald Cypress	55	30	Pyramidal	31800	6		<input type="checkbox"/>	Rusty red	A deciduous conifer	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Taxodium distichum 'Mickelson'	Shawnee Brave	55	20	Narrow/pyr.	14100	6		<input type="checkbox"/>	Orange/bronze	Deciduous conifer - tolerates city conditions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Tilia americana 'Redmond'	Redmond Linden	45	30	Pyramidal	21200	8		<input type="checkbox"/>	Yellow	Pyramidal, needs water.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Tilia cordata 'Greenspire'	Greenspire Linde	40	30		21200	5		<input type="checkbox"/>	Yellowish	Symmetrical, pyramidal form.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Zelkova serrata 'Village Green'	Village Green Zel	40	38		34000	5		<input type="checkbox"/>	Rusty Red		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Medium / Small													
	Acer nigrum 'Green Column'	Green Column BI	50	10		12600	5		<input type="checkbox"/>	Yellow to orange	Good close to buildings.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Acer platanoides 'Columnar'	Columnar Norway	40	15		5300	5		<input type="checkbox"/>	Yellow	Good close to buildings.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Acer rubrum 'Bowhall'	Bowhall Maple	40	15		5300	5		<input type="checkbox"/>	Yellow orange		<input checked="" type="checkbox"/>	<input type="checkbox"/>

Group	Botanical Name	Common Name	Height	Spread	Shape	Volume	Strip	Width	Wires	Fall Color	Comments	Street Tree	Native Tree
	Acer rubrum 'Karpick'	Karpick Maple	35-40	20		8800	5		<input type="checkbox"/>	Yellow to orange	May work under very high powerlines with arborist's approval.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Acer rubrum 'Scarsen'	Scarlet Sentinel	40	20		9400	5		<input type="checkbox"/>	Yellow orange		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Acer truncatum x A. platanoides	Norwegian Sun	35	25		12300			<input checked="" type="checkbox"/>	Yellow-orange/red	Limited use under wires	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Acer truncatum x A. platanoides	Pacific Sunset M	30	25		9800	5		<input checked="" type="checkbox"/>	Yellow-orange/red	Limited use under wires	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Alnus sinuata	Sitka Alder	40	25		0			<input type="checkbox"/>		Prefers a heavy moist soil - usually found above 3000' feet - can be	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Carpinus betulus	'Fastigiata' Pyra	35	15	Pyramidal	12300	5		<input type="checkbox"/>	Yellow	Broadens when older	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Claudastis kentukea	Yellowwood	40	40		0	5		<input type="checkbox"/>	yellow / orange	white flowers in spring, resembling wisteria flowers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Cornus controversa 'June Snow	Giant Dogwood	40	30		0	5		<input type="checkbox"/>	red / orange	Large white flower clusters that appear in June	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Crataegus crus-galli 'Inermis'	Thornless Cocks	25	30		10600			<input checked="" type="checkbox"/>	Orange to scarlet	Red persistent fruit.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Crataegus phaenopyrium	Washington Haw	25	20		4700			<input checked="" type="checkbox"/>	Scarlet	Thorny.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Crataegus suksdorfii	Suksdorf's Hawth	30	25		0			<input type="checkbox"/>		Shorter spines than C. Douglasii	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Crataegus x lavalli	Lavalle Hawthorn	28	20		5600			<input checked="" type="checkbox"/>	Bronze	Thorns on younger trees.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Davidia involucrata	Dove Tree	40	30		0	5		<input type="checkbox"/>		large, unique white flowers in May	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Ginkgo biloba 'Princeton Sentry	Princeton Sentry	40	15	Columnar	5300	6		<input type="checkbox"/>	Yellow	Very narrow growth.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Halesia tetraptera	Carolina Silverbell	35	30	Irregular	0	5		<input type="checkbox"/>	Yellow	Attractive bark for seasonal interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Libocedrus decurrens	Incense Cedar	35	20	Pyramidal	7850	6		<input type="checkbox"/>	Evergreen	Special site approval needed	<input type="checkbox"/>	<input type="checkbox"/>

Street Tree Native Tree

Group	Botanical Name	Common Name	Height	Spread	Shape	Volume	Strip Width	Wires	Fall Color	Comments	Street Tree	Native Tree
	Liquidambar styraciflua	Moraine Sweetgu	40	20		9400	6	<input type="checkbox"/>	Yellow, orange/red	Light green foliage. More compact than other varieties	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Maackia amurensis	Amur Maackia	30	20		0	5	<input checked="" type="checkbox"/>	none	attractive bark and summer flowers - grows in tough conditions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Magnolia 'Elizabeth'	Elizabeth Magnol	30	20		0	5	<input checked="" type="checkbox"/>		yellow flowers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Magnolia 'Galaxy'	Galaxy Magnolia	35	25	pyramidal	0	5	<input checked="" type="checkbox"/>	yellow/brown	reddish-purple flowers in spring.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Magnolia grandiflora 'Victoria'	Victoria Evergree	25	20		4700	5	<input checked="" type="checkbox"/>	Evergreen		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Magnolia Kobus	Wadda's Memory	35	20	Round	7900	5	<input checked="" type="checkbox"/>	Brown	Does not flower well when young	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Ostrya virginiana	Ironwood	40	25		0	5	<input type="checkbox"/>	yellow	hop like fruit	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Parrotia persica	Persian Parrotia	30	20		6300	5	<input checked="" type="checkbox"/>	Yellow - orange red	Select or prune for single stem; can be multi-trunked.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Pinus densiflora 'Umbraculifera'	Umbrella Pine	25	20	Oval	4810	8	<input checked="" type="checkbox"/>	Evergreen	Special site approval needed	<input type="checkbox"/>	<input type="checkbox"/>
	Prunus x yedoensis 'Akebono'	Akebono Floweri	25	25		7400	6	<input checked="" type="checkbox"/>	Yellow		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Pterostyrax hispida	Fragrant Epaullett	40	30		0	5	<input type="checkbox"/>	yellow / brown	Pendulous creamy white flowers - fragrant	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Pyrus calleryana 'Cambridge'	Cambridge Pear	40	15	Pyramidal	5300	5	<input type="checkbox"/>	Reddish purple	Narrow tree with good branch angles and form	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Pyrus calleryana 'Glen's Form'	Chanticleer or Cl	40	15		5300	5	<input type="checkbox"/>	Scarlet	Vigorous.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Pyrus calleryana 'Redspire'	Redspire Pear	35	25		12300		<input type="checkbox"/>	Yellow to red	Pyramidal.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Quercus 'Crimschmidt'	Crimson Spire O	45	15		6200		<input type="checkbox"/>		Hard to find.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Robinia x ambigua	Pink Idaho Locus	35	25		12300	5	<input type="checkbox"/>	Yellow	Fragrant flowers.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Group	Botanical Name	Common Name	Height	Spread	Shape	Volume	Strip	Width	Wires	Fall Color	Comments	Street Tree	Native Tree
	<i>Sciadopitys verticillata</i>	Japanese Umbrel	30	20	Pyramidal	6300	8		<input checked="" type="checkbox"/>	Evergreen	Grows slowly - pristine evergreen foliage - special site approval	<input type="checkbox"/>	<input type="checkbox"/>
	<i>Sorbus alnifolia</i>	Korean Mountain	40	30		0	5		<input type="checkbox"/>	orange	Simple leaves. Beautiful pink-red fruit - may be short lived	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Sorbus aucuparia</i> 'Mitchred'	Cardinal Royal M	35	20		7900	5		<input checked="" type="checkbox"/>	Rust	Bright red berries.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Sorbus x hybridia</i>	Oakleaf Royal Mt	30	20		6300	5		<input checked="" type="checkbox"/>	Rust		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Stewartia monodelpha</i>	Orange Bark Ste	30	20		0	5		<input checked="" type="checkbox"/>	orange	orange peeling bark - white flowers in spring	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Taxus brevifolia</i>	Pacific Yew	40	25		0			<input type="checkbox"/>	Evergreen	typically occurs as an understory tree 3-5 m tall west of the Cascades	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<i>Tilia cordata</i> 'De Groot'	De Groot Littlelea	30	20		6300	5		<input checked="" type="checkbox"/>	Yellow	Compact, suckers less than other Lindens.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Tilia cordata</i> 'Chancole'	Chancellor Linden	35	20		7900	5		<input type="checkbox"/>	Yellow	Pyramidal.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Small													
	<i>Acer buegerianum</i>	Trident Maple	30	30		0			<input checked="" type="checkbox"/>	orange/red	select for a single stem	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Acer circinatum</i>	Vine Maple	25	25		0	5		<input checked="" type="checkbox"/>	red / orange	Do not use in exposed 'harsh' sites in streetscape plantings.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
	<i>Acer ginnala</i> 'Flame'	Flame Amur Ma	20	20	Round	3100	5		<input checked="" type="checkbox"/>	Red	Select or prune for single stem; can be multi-trunked.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Acer grandidentatum</i> 'Schmidt'	Rocky Mt. Glow	25+	15		2700	5		<input checked="" type="checkbox"/>	Intense red	Hard to find	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Acer griseum</i>	Paperbark Maple	25	20		2700	5		<input checked="" type="checkbox"/>		Smooth, peeling, cinnamon colored bark.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Acer palmatum</i>	Japanese Maple	20	24		1100	5		<input checked="" type="checkbox"/>	Y	Hundreds of varied cultivars. Can be slow growing.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Acer platanoides</i> 'Globosum'	Globe Norway M	20	18		2500	5		<input checked="" type="checkbox"/>	Yellow	Rounded top, and compact growth.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<i>Acer triflorum</i>	Three-Flower Ma	25	20		0	5		<input checked="" type="checkbox"/>	apricot/gold	cream colored shaggy bark	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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	Amelanchier alnifolia	Saskatoon Servic	20	15		0		<input type="checkbox"/>		strublike form - may be difficult to train into tree form	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Amelanchier grandiflora 'Princ	Princess Diana S	20	15		1800	5	<input checked="" type="checkbox"/>	Bright red	Good for limited space.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Amelanchier x grandiflora 'Autu	Autumn Brilliance	20	15		1800	5	<input checked="" type="checkbox"/>	Bright red	Reliable bloom.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Arbutus 'Marina'	Strawberry Tree	25	15		2700	5	<input checked="" type="checkbox"/>		Good substitute for Pacific Madrone. May exceed 25' height	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Asimina triloba	Paw Paw	30	20		0	5	<input checked="" type="checkbox"/>	yellow	purplish bell shaped flower in spring before leaves emerge	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Carpinus caroliniana	American Hornbe	25	20		2700	5	<input checked="" type="checkbox"/>	Yellow to orange	Outstanding fall color - nice little tree	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Carpinus japonicus	Japanese Hornb	20	25		1100	5	<input checked="" type="checkbox"/>	Bronze	Wide spreading - not for confined spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Cercis canadensis	Eastern Redbud	25	30		1600	5	<input checked="" type="checkbox"/>	Yellow	Blooms before leaves are out.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Cercis siliquastrum	Judas Tree (Euro	25	30	Oval	1600	5	<input checked="" type="checkbox"/>	Yellow	blooms before leaves emerge	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Cornus alternifolia	Pagoda Dogwoo	25	25		0	5	<input checked="" type="checkbox"/>	red	attractive white flowers in spring - prune for single stem	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Cornus 'Eddie's White Wonder'	Eddie's White W	25	20	Pyramidal	2700	5	<input checked="" type="checkbox"/>	Red	A hybrid of C. florida and C. nuttallii	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Cornus kousa 'Chinensis'	Kousa Dogwood	20	20		3100	5	<input checked="" type="checkbox"/>	Reddish to scarlet	Most resistant to disease of the dogwoods.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Cotinus obovatus	American Smoke	25	25		0	5	<input checked="" type="checkbox"/>	varied	pinkish panicle of flowers in spring - can prune for single stem	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Crataegus douglasii	Black Hawthorne	30	25		0		<input type="checkbox"/>	red / orange	Up to 1" inch thorns - ticket forming - may spread underground	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Fagus sylvatica	'Dawycck Purple'	40	12	Columnar	3400	5	<input type="checkbox"/>	No	Purple foliage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Lagerstroemia 'tuscatora'	Tuscarora Hybrid	20	18		2500	5	<input checked="" type="checkbox"/>	Yellow	Rounded top, and compact growth.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Group Botanical Name Common Name Height Spread Shape Volume Strip Width Wires Fall Color Comments Street Tree Native Tree

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	Liriodendron tulipifera	'Fastigiata'	40	10	Narrow	2400	6	<input type="checkbox"/>	Yellow	Good next to buildings.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Magnolia grandiflora	'Little Gem'	15	10		1600	5	<input checked="" type="checkbox"/>	Evergreen	Useful where larger varieties are inappropriate.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Magnolia x loebneri	Loebner Magnoli	20	20		3100		<input checked="" type="checkbox"/>	Yellow	Several cultivars.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Malus 'Adirondack'	Adirondack Crab	18	10	Upright	1600	5	<input checked="" type="checkbox"/>		Red fruit. Excellent scab resistance.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Malus 'Golden Raindrops'	Golden Raindrop	18	13		1100	5	<input checked="" type="checkbox"/>	Yellow	Abundant yellow fruit - persists on tree.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Malus 'Tschonoskii'	Tschonoskii Crab	28	14		2000	5	<input checked="" type="checkbox"/>	Scarlet	Sparse green fruit, pyramidal.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Malus 'Donald Wyman'	Donald Wyman	25	25		0	5	<input checked="" type="checkbox"/>	yellow	Disease resistant - nice green foliage in summer - large white	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Malus fusca	Pacific Crabapple	40	25		0		<input type="checkbox"/>			<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Oxydendron arboreum	Sourwood	35	12		2800	5	<input type="checkbox"/>	Red	Consistent and brilliant fall color.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Prunus 'Frankthrees'	Mt. St. Helens Pl	20	20		3100	5	<input checked="" type="checkbox"/>		Purple foliage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Prunus 'Newport'	Newport Plum	20	20		3100	5	<input checked="" type="checkbox"/>	Reddish	Purple red foliage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Prunus 'Snowgoose'	Snow Goose Ch	20	20		3100	6	<input checked="" type="checkbox"/>		Upright when young, spreading when older.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Prunus cerasifera 'Krauter Ves'	Vesuvius Floweri	30	15		3500	5	<input checked="" type="checkbox"/>		Upright growth, darkest foliage of the plums.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Prunus cerasifera 'Thundercloud'	Thundercloud Plu	20	20		3100	5	<input checked="" type="checkbox"/>		Dark purple foliage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Prunus sargentii 'Columnaris'	Columnar Sargen	35	15	Columnar	4400	8	<input type="checkbox"/>	Orange to orange-red	Upright form. The cherry with the best fall color.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Prunus x hillieri 'Spire'	Spire Cherry	30	10	Columnar	1600	6	<input checked="" type="checkbox"/>	Orange red		<input checked="" type="checkbox"/>	<input type="checkbox"/>

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	Quercus illex	Holly Oak	20	20		3100	5	<input checked="" type="checkbox"/>		Prune to keep small, leave it alone to grow large.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Rhamnus purshiana	Cascara	30	20		0	5	<input checked="" type="checkbox"/>	red / orange		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
	Stewartia psuedocamellia	Japanese Stewart	25	15		0	5	<input checked="" type="checkbox"/>	orange / red	Patchwork bark - white flower in spring.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Styrax japonica	Japanese Snowb	25	25		2800	5	<input checked="" type="checkbox"/>	Yellow	Plentiful, green 1/2" seeds.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Styrax obassia	Fragrant Styrax	25	20	Oval	2700	5	<input checked="" type="checkbox"/>	yellow	Smooth gray bark and fragrant white flowers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Small / Constrained site												
	Malus 'Red Barron'	Red Barron Crab	18	8		400	5	<input checked="" type="checkbox"/>	Yellow	Good for narrow spaces. Red berries.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Malus 'Lancelot' ('Lanzam')	Lancelot Crabap	15	10		0	5	<input checked="" type="checkbox"/>	yellow	Flower is red in bud. Yellow fruit. Disease resistant	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Prunus serrulata 'Amanogawa'	Amanogawa Flo	20	6		300	6	<input checked="" type="checkbox"/>	Bronze	Particularly usefull for very narrow planting strips.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Sorbus americana 'Dwarfcrown	Red Cascade Mo	18	8		400	5	<input checked="" type="checkbox"/>	Yellow - orange	Nice winter form - white flowers in spring - red clusters of berries	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Tracheocarpus fortunei	Windmill Palm	25	10	Oval	300	5	<input checked="" type="checkbox"/>	EV	Traffic visibility can be a problem with small plants	<input type="checkbox"/>	<input type="checkbox"/>

